

# LA RESERVE

Master  
Homeowners' Association  
Documents  
July 1984

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Design Guidelines

**La Reserve Community Association  
Architectural Committee**  
7493 N Oracle Rd. Suite 125, Tucson, AZ 85704  
Phone (520) 219-3035 – Fax (520) 2119-4155

**Architectural Review Submittal Form**

Date: \_\_\_\_\_

1. Owner's name: \_\_\_\_\_

Address: \_\_\_\_\_

Subdivision and Lot number: \_\_\_\_\_

Telephone number: \_\_\_\_\_

2. Description of work to be done: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. Type of materials/colors to be used: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

(Include any sample, colored brochure, picture, drawing, etc., that will clarify the project)

4. Contractor's name: \_\_\_\_\_

License Number: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Address: \_\_\_\_\_

5. Estimated start date: \_\_\_\_\_ Estimated completion date: \_\_\_\_\_

The Addendum to the Design Guidelines will give you a good overview of the standards, and submittal requirements. Note submittal deadline dates are:

- New construction/additions - the 7<sup>th</sup> of the month
- All other LRAC submittals – the 15<sup>th</sup> of the month

All submittals are reviewed during an Architectural Committee meeting held the last week of the month.

**For Architectural Committee use:**

Meeting Date: \_\_\_\_\_ Response sent to owner: \_\_\_\_\_

Action Taken:

\_\_\_\_\_  
\_\_\_\_\_

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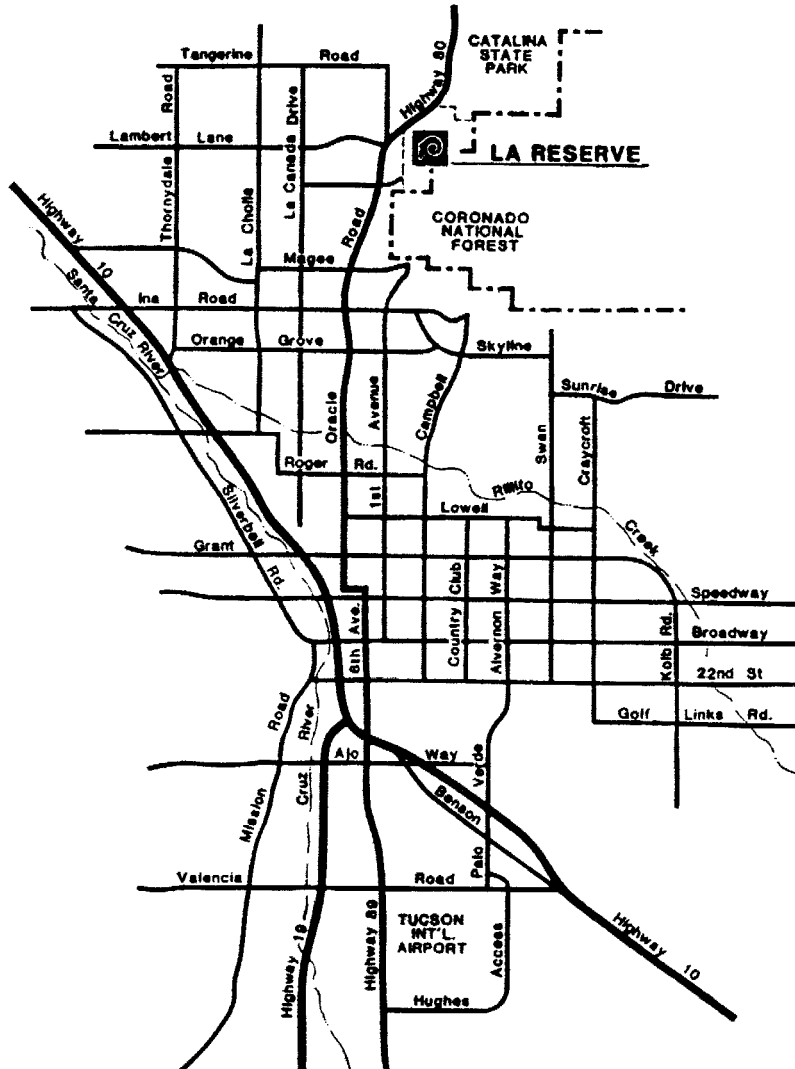


# 1. INTRODUCTION

La Reserve is a carefully planned 1,198+ acre community located at the base of the Santa Catalina Mountains northwest of Tucson (see Exhibit A). The community is being master planned by The Estes Co.

## 1.1 DEVELOPMENT PHILOSOPHY

EXHIBIT A - PROJECT LOCATION



The Estes Co. has made a firm commitment to plan La Reserve in a comprehensive, environmentally sensitive manner. This has involved numerous studies and analyses to understand the complex natural ecology of the area. These studies include: soils, geology, landform, views, hydrology and biological inventories of the plant and animal life in the La Reserve area. Studies have also been prepared for urban services (roads, utilities, etc.) required to provide a high standard of living. Based upon these

studies, a mixture of residential, commercial, office, campus park industrial, resort and open space uses have evolved which allows a high quality urban environment to co-exist and blend in with the natural desert setting. The planning philosophy is to monitor and direct the design and building program sensitively to ensure compatibility with the surrounding desert environment. From biologic and aesthetic points of view, the La Reserve project is situated on an extraordinarily rich and diverse piece of land. Each designer, contractor and owner will integrate his portion of the project with the environment. This philosophy, combined with the beauty of the Sonoran desert, allows residents to live in and experience a truly unique community.

## 1.2 PURPOSE OF THE DESIGN GUIDELINES

The design guidelines contained in this booklet have been prepared to ensure that the overall planning philosophy of The Estes Co. is carried out as each portion of the La Reserve community is built. Hence, the guidelines are intended first as an information source to builders, developers, architects or investors interested in the La Reserve program and second as a regulatory mechanism to ensure that all improvements in the community are completed in an environmentally sensitive manner. These guidelines will thus ensure a high standard of project-wide design consistency throughout the life of the community.

As a part of the design guidelines, a mandatory program of architectural review has been established to evaluate every proposal for development in the community. The purpose of the review program is to ensure that the high standards of the community set forth in this document are upheld in each phase of development.

The La Reserve design guidelines are intended to be a conceptual, dynamic guide to development and as such are subject to change where the La Reserve Architectural Committee (LRAC) determines such change is in the best interests of the community. In addition, the graphic illustrations in this document are intended to convey a concept and are not intended to portray specific plans for construction.

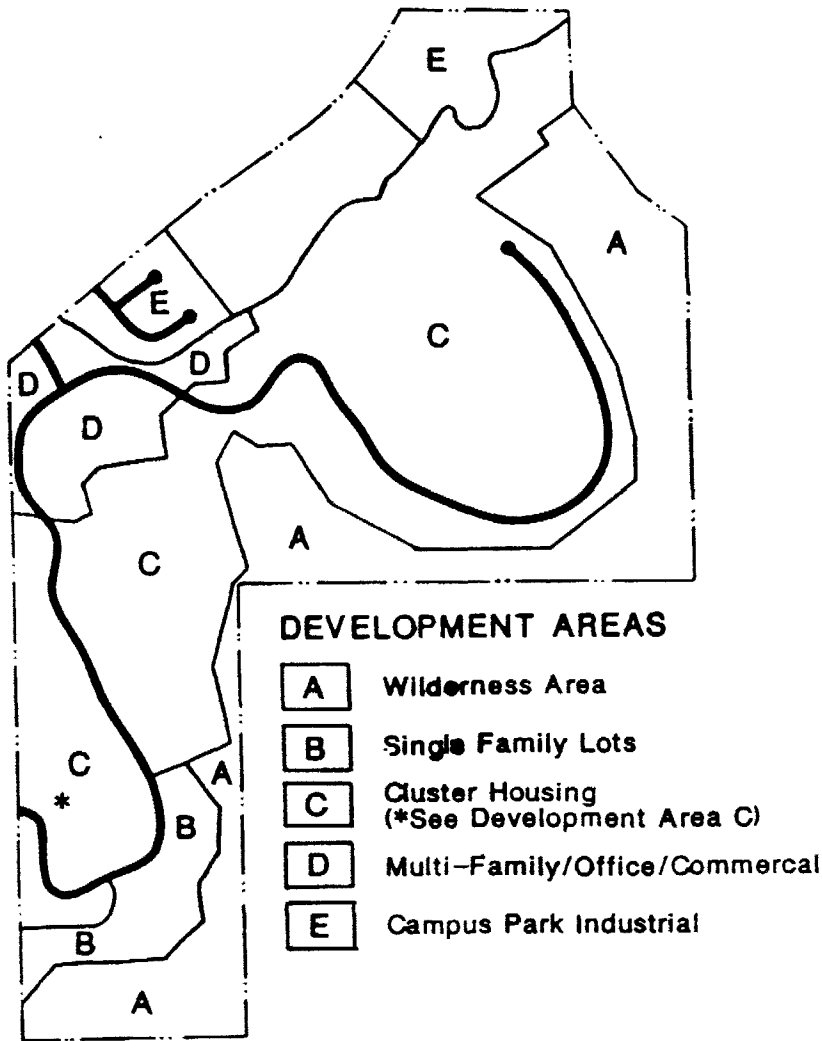
These design standards are binding on any persons, company or firm which intends to construct, reconstruct or modify any permanent or temporary improvement (buildings, roads, etc.) in the La Reserve community or in any way alter the natural setting of the desert environment.

Accompanying the design guidelines are Covenants, Conditions and Restrictions (CC&R's) which have been adopted formally and recorded to establish the homeowner's association and to guarantee long-term maintenance of all common facilities within the community.

1.3 RELATIONSHIP TO CC&R'S AND ZONING PLAN

The Town of Oro Valley has adopted an official Concept Plan for the La Reserve community, which establishes the maximum intensity of land uses allowable on the site (refer to Exhibit B). sign guidelines serve to implement the overall framework of zoning restrictions established by the Town of Oro Valley.

EXHIBIT B - CONCEPT PLAN



## 2. DESIGN STANDARDS

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### PROJECT WIDE STANDARDS

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The following standards apply to elements common to all portions of the La Reserve community. They promote an integrated, consistent and sensitive design treatment throughout the various subareas comprising the community.

#### 2.1 EDGE CONDITIONS/ OPEN SPACE

Exhibit C depicts the general extent of project open spaces. This includes the private wilderness area and natural open space, landscape buffers and drainages. In compliance with the design philosophy, open space areas shall be permanently maintained in a natural environmental setting devoid of any permanent or temporary man-made structures (exceptions are granted for temporary structures placed to assist in emergency situations or to maintain desert big horn sheep habitat).

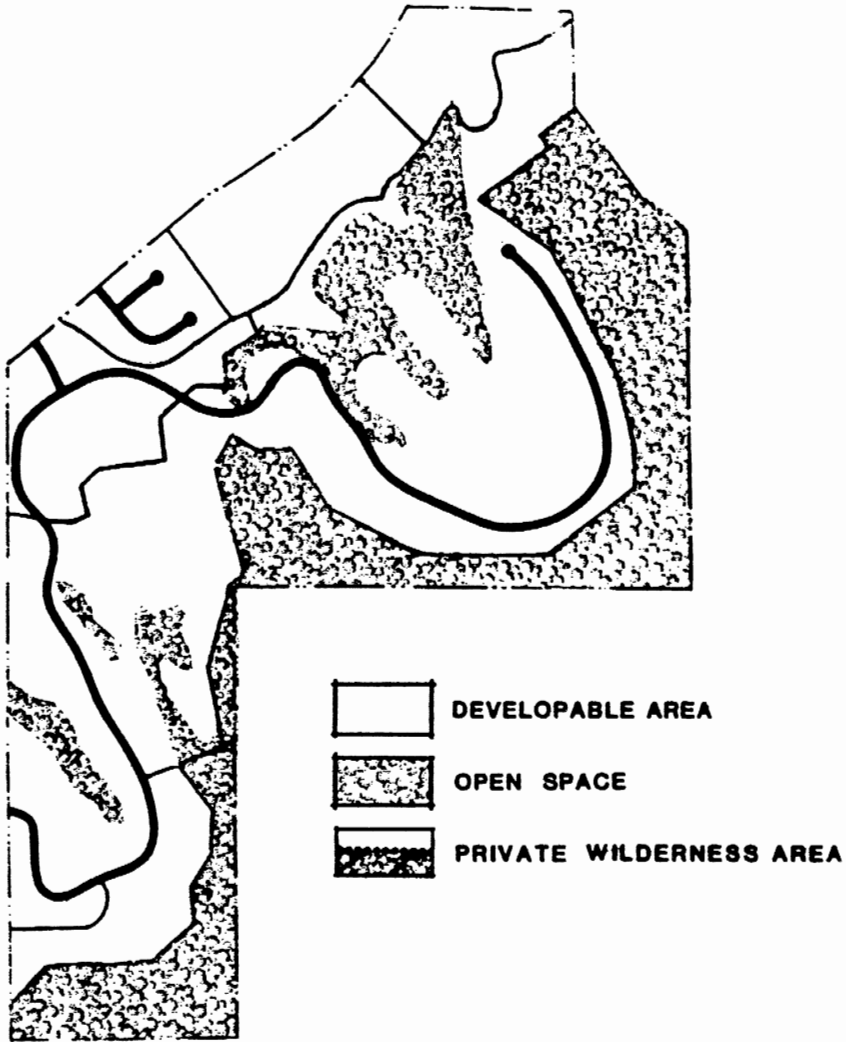
An area bordering the Coronado National Forest and Catalina State Park has been reserved as a Private Wilderness Area. The Wilderness Area provides a buffer between development at La Reserve and these desert bighorn sheep habitat.

#### 2.2 LANDSCAPE THEME

Consistent with the overall design philosophy, a landscape theme has been established emphasizing the preservation and enhancement of native plant life. To the fullest extent possible, buildings and other improvements shall be sited so as not to disturb native plant material. In instances where removal of plant life cannot be avoided, all reasonable efforts shall be made to relocate plant material in accord with the guidelines contained in the Appendix. Should revegetation and replanting be necessary, only plant material listed in the Approved Plant List, found in the Appendix, shall be used.

The only exception to this policy is that non-native material may be used in private areas (atriums, behind walls, etc.) and directly adjacent to office, commercial or campus park industrial development, or special screening situations as determined by the LRAC to enhance the visual integrity of the community.

The La Reserve area is characterized by a plant community know as "Sonoran desert" or "Arizona succulent desert."



Numerous plants have been selected as uniquely suited to the area. Landscaping with these plants will preserve the aesthetic and biologic integrity of the desert environment. The plant lists (contained within the Appendix) will assist homeowners, landscape architects and builders in formulating landscape plans.

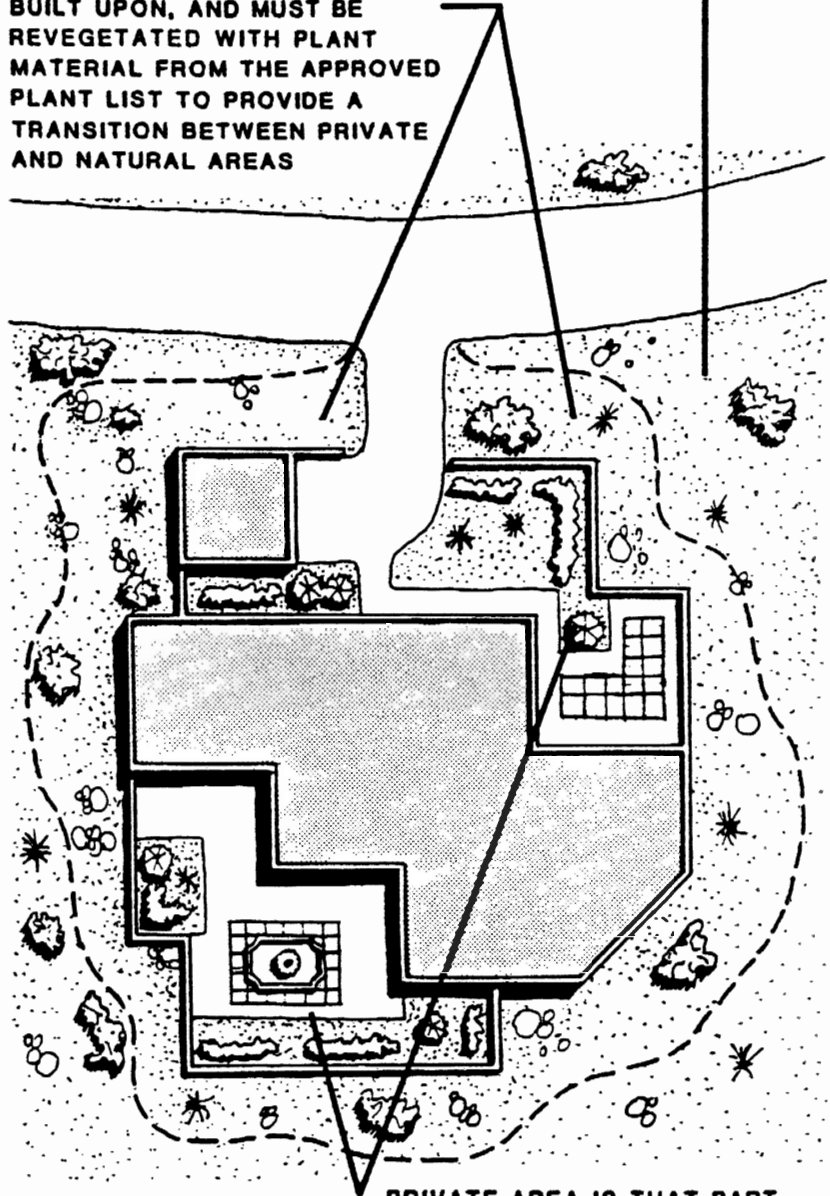
The design standards have defined three landscape zones for which different standards of landscaping apply. (see Exhibit D).

- o The natural area, which consists of undisturbed natural desert vegetation will be consistent with the declaration of covenants. No plant material shall be introduced here. In addition, no water, fertilizing or other maintenance activities shall occur in the natural area other than those required for cleanup of man-made debris.

**EXHIBIT D - LANDSCAPE ZONES**

**NATURAL AREA, LOCATED  
OUTSIDE OF THE DEVELOPED  
AREA, MUST REMAIN UNDISTURBED**

**TRANSITIONAL AREA IS THAT  
PART OF THE LOT WHICH HAS  
BEEN DISTURBED BUT NOT  
BUILT UPON, AND MUST BE  
REVEGETATED WITH PLANT  
MATERIAL FROM THE APPROVED  
PLANT LIST TO PROVIDE A  
TRANSITION BETWEEN PRIVATE  
AND NATURAL AREAS**



**PRIVATE AREA IS THAT PART  
OF THE LOT WHICH IS SCREENED  
FROM VIEW BY WALLS AND  
STRUCTURES, AND MAY BE  
PLANTED WITH ANY PLANT  
MATERIAL NOT FOUND ON THE  
PROHIBITED PLANT LIST, IF  
APPROVED BY THE A.R.C.**

- o The transitional area which is the area subject to disturbance but upon which nothing will be built. Within 30 days of completion of desired construction, the transitional area shall be revegetated with specified plant material from the approved plant list to provide a gradual transition between natural areas and private landscape areas. Minimal irrigation in the transitional area will allow desert species to flourish. Irrigation systems shall be designed carefully so as not to cause overspray into the natural area. This area is subject to the prohibited plant list.
  
- o The private area which is located behind private walls and structures. The private area is least restrictive in terms of selection of plants, trees, and shrubs which may be planted. The private area may include any plants not listed on the prohibited list which conform to the height restrictions listed in the Appendix.

The intent of this differentiation (natural, transition, private) is to assure the continued integrity of the fragile Sonoran desert in the areas outside the building envelope, as well as visual continuity of the development by limiting the use of exotic species to visually unobtrusive areas.

The plant types set forth in the prohibited list (found in Appendix B) include species with characteristics which are potentially incompatible with natural areas and indigenous plants by reason of profuse and obnoxious pollen, excessive height, weed-like characteristics, high water demands and other similar traits. Under no circumstances is it permissible to plant any items from this list.

To ensure maximum preservation of the delicate Sonoran desert, the following information must be submitted in conjunction with the preliminary grading plan for development within the La Reserve community.

1. Vegetation Identification Plans
  - A. Listing of each major plant, by species and size, within the area proposed for grading.
  - B. Listing of each species to be salvaged, by plant type.
  
2. Detailed listing of transplant methods to be used.
  
3. Transplant Considerations.
  - A. Soil type (transplants should be placed in soils similar to the original environment)

- B. Location in a similar environment to original location (slope orientation/drainage)
- C. Geographic orientation of plants (cacti must be replanted so that the southern quadrant of the plant, which has adapted to the temperate regimes of its southern exposure is again facing south)
- D. Care (watering) of transplants
- E. Temporary storage of transplanted materials (description of facility to be used)
- F. Chemical methods of pest and bacteria control.

## 2.3 CIRCULATION/ STREETSCAPES

A comprehensive network of vehicular roads support the underlying community structure. Key elements of the circulation system include:

Primary site access from U.S. 89, which is found adjacent to the northwest boundary of the property. Secondary site access for the estate lots and cluster development area is provided through the adjoining property to the west. Individual site access locations are provided for the campus park industrial areas. Only these access locations will be permitted at La Reserve. These are identified in Exhibit E.

The community is master planned to prevent industrial, commercial and office traffic from penetrating into the residential areas.

A system of collector streets provide internal access to the site (shown on Exhibit E). Collector roads have a minimum pavement width of 24 feet.

In addition to collector roads, each portion of the community is served by a system of internal loop roads.

A comprehensive streetscape design is incorporated into the design of all collector streets. This includes curb treatment and special landscape treatment in selected areas. A program of revegetation will be undertaken adjacent to roadways to minimize the impact of paved area on the surrounding desert environment, as illustrated on Exhibit F.



EXHIBIT E - CIRCULATION

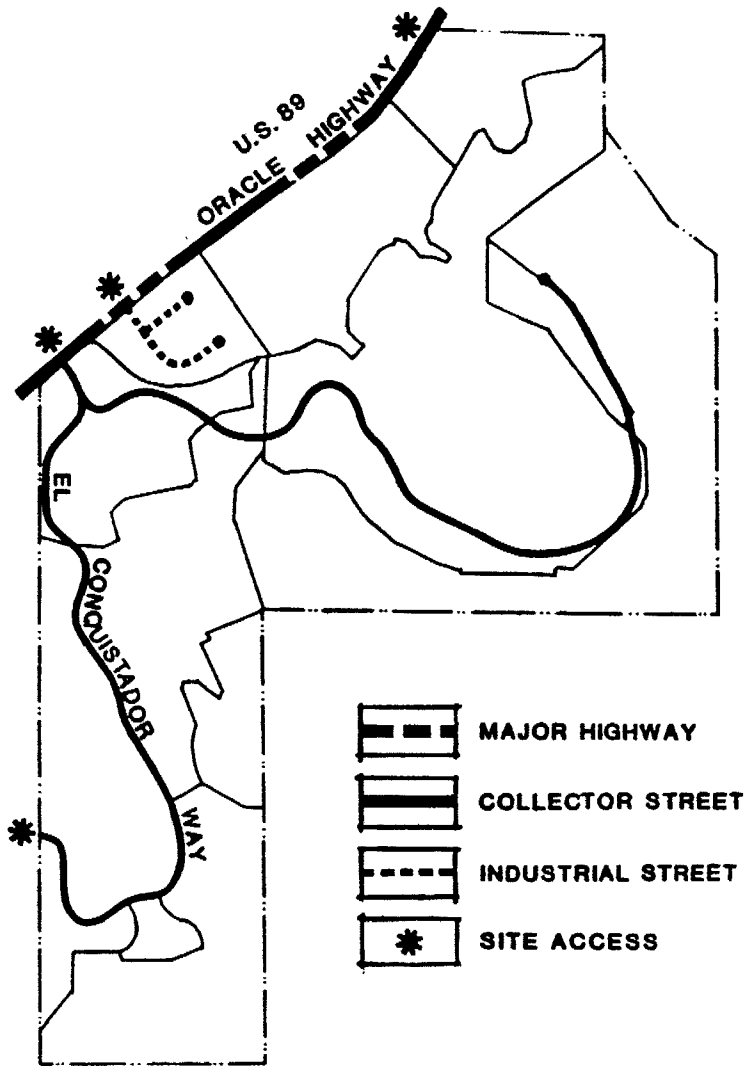
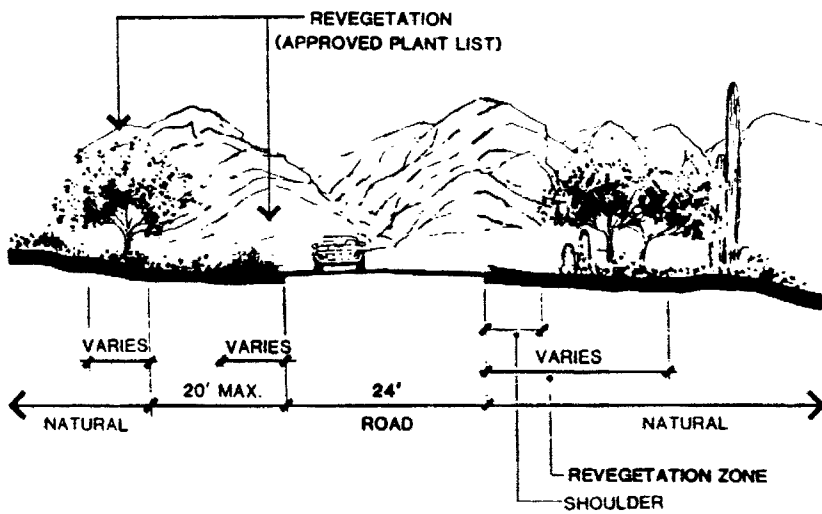


EXHIBIT F - STREETSCAPE DESIGN



A comprehensive streetscape design program is incorporated into the design of all community collector streets. This includes a special street light design, curb treatment and special landscape treatment in selected areas. A program of revegetation will be undertaken adjacent to roadways to minimize the impact of paved area on the surrounding desert environment, as illustrated on Exhibit F.

## 2.4 PROJECT ENTRIES

The La Reserve entry program provides an integrated design of landscaping, monumentation and signage which maintains compatibility with the surrounding environment. The project entry serves to introduce and define the limits of the La Reserve community and is intended to impart a subtle tasteful introduction to the community.

Within the site are two primary entries (Exhibit E) consisting of a defined geographic area within which may exist some combination of an entry/guard gate, decorative walls, special signing, landscaping, a widened roadway and special paving treatments.

Entries into residential neighborhoods, private facilities and special use areas occur at various locations throughout the site. These secondary entries consist of defined areas and may include such features as monumentation, signage, native and introduced vegetation and enriched paving.

## 2.5 ARCHITECTURAL DESIGN THEME

The architectural theme for the La Reserve community reflects the thoughtful integration of structures with the desert environment. Themes of the southwest, as well as other building types that respond appropriately to the desert surroundings, are encouraged.

A PAD district has been established to control building height within the community. A height limitation of 30 feet or two stories (whichever is less) is applicable unless otherwise restricted by the LRAC. In general, low profile structures which are integrated into the natural terrain and vegetation are encouraged.

Acceptable building materials include: masonry, adobe, brick, rock and stucco. The use of wood as a predominant exterior material is not acceptable as it has a history of weathering poorly and is not a traditional feature of this environment.

Generally, muted colors which do not predominate are acceptable for use on building exteriors. These colors should reflect the hues of the ambient rock outcroppings and plant material and are drawn from the following ranges: brown, including rusts, sepias, sands, tans and buffs; some olive tones; certain gray tones. Other tones and colors may be used for trim or accent. Highly reflective colors or materials are prohibited on all wall and roof surfaces. Color gradations from building to building should be gradual. All architectural elements, including color, are subject to approval of the LRAC. Final approval of color is subject to a test patch of not less than six foot square on building prior to painting entire building.

The beauty of the night at La Reserve will be enhanced by judicious use of lighting. Lighting shall be utilized only as necessary to provide the functional requirements of safety, security and identification. Unnecessary use of light is prohibited in the interest of energy efficiency and maintenance of the quiet nighttime environment.

## 2.6 LIGHTING

Where utilized within the community, light standards shall not exceed 36 inches in height and shall consist of a "bollard" type or other low profile design of masonry or concrete material. Other designs may be approved by the LRAC if found to be aesthetically pleasing. The light source shall be shielded to reduce dispersal of ambient light in a skyward direction. The light shall be directed only down and onto the street in a limited radius. The standards shall be separated sufficiently to create isolated "pools of light" on the pavement, rather than a continuous, saturated condition.

In keeping with this philosophy, the use of low pressure sodium or incandescent fixtures is recommended. High pressure sodium and mercury vapor lighting is prohibited.

All signs shall be of design and materials approved by the LRAC. Plans showing design and location must be submitted for review and approval prior to installation of any signs. It is imperative that proper signage controls be placed to increase safety, enhance directional character, and enhance the overall visual environment of the community. The following sign standards shall apply.

## 2.7 SIGNAGE

### A. Real Estate Signs

- new subdivisions (recently constructed/under construction)

one freestanding, non-illuminated single face sign, with a maximum area of 32 sq. ft., located on the same lot or parcel as the project under construction.

- residential signage

no sign shall be allowed except temporary real estate signs, temporary construction signs or other signs approved by the La Reserve Architectural Committee.

## B. Community Identification Signs

One freestanding sign may be located at the primary entrance to the individual housing community. Such sign shall not exceed an area of 24 sq. ft. and shall be integrated with the general architectural flavor of the area, including decorative walls.

## C. Directional Signage

A comprehensive, integrated program of directional and safety signage shall be undertaken and implemented to facilitate on-site traffic circulation.

## 2.8 GRADING AND DRAINAGE

Grading will be necessary in the course of community development as roads, buildings and other improvements are constructed. Grading within the La Reserve community shall adhere to the following guidelines (and/or the Hillside District Zone within the PAD for La Reserve) unless otherwise approved by the LRAC.

- o A grading plan that illustrates existing and proposed contours, cut and fill areas and all existing plant material within the subject area shall be included with the preliminary submittal to the LRAC for review. A vegetation management plan shall also be implemented, as described in these guidelines.
- o Grading shall not occur within natural drainage area (except for necessary roadways and utilities).
- o Graded areas shall be kept to an absolute minimum to reduce impacts on the surrounding desert environment. In built-out areas, architectural solutions shall be implemented to reduce impacts of grading.
- o Grading, when necessary, shall result in curved, undulating, not sharp, or squared contours, to create a rolling, natural appearance.
- o Grading shall not occur within natural drainage areas (except for necessary roadways and utilities).
- o Graded areas shall be revegetated within thirty (30) days of the completion of construction with plant material from the approved list.
- o Graded areas outside perimeter walls shall be revegetated within a maximum of sixty (60) days of commencement of construction.

- o Exposed, manufactured cut slopes shall have a maximum slope of 1:1 and manufactured filled slopes of 3:1. Retaining walls may be used instead of or in combination with manufactured slopes to encourage terracing. Walls shall be constructed of materials that are harmonious with the adjacent structure(s) and the indigenous materials of the site. Exposed cut or fill slopes must be restored so that the finished product blends smoothly with the surrounding terrain and architecture. Native rock and/or native plant material shall be used to prevent erosion and create visually pleasing treatments. Incongruous treatments are prohibited.

A number of natural drainage courses intersect the site. With the exception of roadways and recreational trails, no permanent or temporary improvements may be built in a drainage course.

A primary utility system has been completed within the La Reserve community including sewer, water, gas, phone, cable T.V., and electric lines. Utility lines shall be extended along major collector roads terminating at the beginning of development areas. All utility lines shall, unless otherwise approved by the LRAC, be placed underground.

## 2.9 UTILITIES

Firewood and other material shall be enclosed in such a manner so as not to be attractive to rodents, snakes and other animals and to minimize potential danger from fires. These materials shall also be stored in such a manner so as not to be seen from any road or other residence.

## 2.10 GENERAL NOTES

Garbage, refuse and pet foods shall likewise be stored in a secure, enclosed place to avoid intrusion by the native fauna.

## RESIDENTIAL-OVERALL

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The residential component of the La Reserve community will occupy the majority of the developed project. Carefully planned design guidelines will help to keep the physical impacts of residential development at a minimum, while enhancing the quality of life for those living in and around the community. The standards listed below are applicable to all residential development except where noted. Standards that apply to any one product type are listed in the appropriate, subsequent section.

## 2.11 INTRODUCTION

## 2.12 SITE DEVELOPMENT STANDARDS

### A. Grading and Drainage

Graded areas shall be kept to an absolute minimum to reduce impacts on the surrounding desert environment.

At the time of initial approval, a grading plan shall be submitted to the LRAC for review that illustrates existing and proposed contours, cut and fill areas and all existing plant material within the subject area. A vegetation management plan shall also be implemented, as described in these guidelines.

Graded areas shall be revegetated as soon as possible with plant material from the approved list.

Site grading shall be done with a minimum of disturbance to topographic features and environmental elements. Where topographic constraints exist, architectural design solutions shall be utilized rather than grading solutions. Mass grading in the form of large pads is prohibited unless otherwise approved by the LRAC. Stem wall, or other construction techniques shall be encouraged.

### B. Parking

A minimum of two off-street parking spaces shall be provided on each LOT in an enclosed garage structure.

### C. Recreational Vehicles

No boats, trailers or other recreational vehicles shall be stored onsite unless they are parked inside an enclosed area which is permanently attached to a main residence, or unless alternate storage plans are approved by the LRAC.

## 2.13 LANDSCAPE AND ARCHITECTURAL STANDARDS

The intent of these guidelines and standards is to promote quality living environments which preserve the integrity of the desert environment and the development philosophy of the La Reserve Community. Architectural design treatments shall take into consideration the effects of wind and solar influences.

#### A. Landscaping

Undisturbed natural vegetation shall be maintained in the natural area. Revegetation with approved plant material shall occur in areas disturbed by construction activities. No restrictions shall exist within private areas except those governed by the Prohibited Plant List. Refer to Section 2.2 (Landscape Theme) for additional guidelines.

#### B. Building Height

The height of single family detached buildings shall not exceed two stories or thirty feet, whichever is less.

#### C. Building Size

Wilderness Lots shall have a minimum building area of 2,500 square feet. This area is to include only finished living space and is exclusive of garages, patios, decks, etc.

#### D. Solar Applications

The use of passive and active solar designs is enthusiastically encouraged. Components of these systems shall be designed and installed so as not to create any adverse visual impact upon any portion of the community. All designs are subject to review and approval by the LRAC.

#### E. Roofs

Roof design and constructed material are subject to review and approval by the LRAC. Roof lines shall be compatible with the overall character of the foothill topography, flat in some areas, more pitch in others. From an energy conservation perspective, roof projections over windows are encouraged. Roofs shall be constructed of clay tile, slate, metal or wood shingles, all of which shall exhibit muted earthtones. Reflective materials are prohibited. Other roof materials may be approved by the LRAC. No mechanical equipment of any kind (including solar) will be permitted on roofs. All vents and other projections shall be colored to blend with the roof.

#### F. Exterior Material, Color, Appearance

Exterior building materials shall be of natural materials which blend into and are compatible with the natural landscape. This includes brick, masonry, stucco, adobe, concrete block or other suitable material as approved by the LRAC to promote and enhance the desert environment. Large expanses of wood surfaces are not approved. It is expected that exterior treatments and colors will be of muted tones. Dominant colors such as black, white or red are not allowed.

#### G. No Reflective Finishes

No highly reflective finishes (other than glass, which may not be mirrored) shall be used on exterior surfaces (other than surfaces of hardware fixtures), including without limitation the exterior surfaces of any of the following: roofs, all projections above roofs, retaining walls, doors, trim, fences, pipes, equipment, mailboxes, and newspaper tubes.

#### H. Building Projections

All architectural building projections, including chimney flues, vents, gutters, downspouts, utility boxes, porches, railings, and stairways shall match the color of the main residence or shall be of an approved color. No radio or television antenna or satellite dishes are permitted.

#### I. Patios and Courtyards

Patios and courtyards shall be designed as an integrated part of the main structure and located entirely within the building envelope.

#### J. Walls

Walls constructed of stucco, stone or masonry may be used to delineate the private outdoor areas of the residence (Appendix C). They should be a visual extension of the architecture of the main residence. The texture and color of walls shall conform to the same color standards as the main residence and the indigenous materials of the surrounding natural slopes. Wall heights must be consistent at the point of intersection with perimeter walls. Perimeter walls, for the purposes of this section, are defined as those walls running adjacent to arterial streets. Walls shall not exceed six feet in height. Minimum wall height is four feet. The minimum height restriction does not apply to the Wilderness Lots.

#### K. Foundations

All exterior wall materials must be continued down to finished grade thereby eliminating unfinished foundation walls.

#### L. Service Yard

Walls are required as screening for a service yard, if any, to enclose all above-ground garbage and trash containers, clotheslines, and other outdoor maintenance and service facilities.

#### M. Mail Boxes

Mail boxes shall conform to the approved, standardized design designated by the LRAC.



N. Additional Construction and/or Exterior Changes

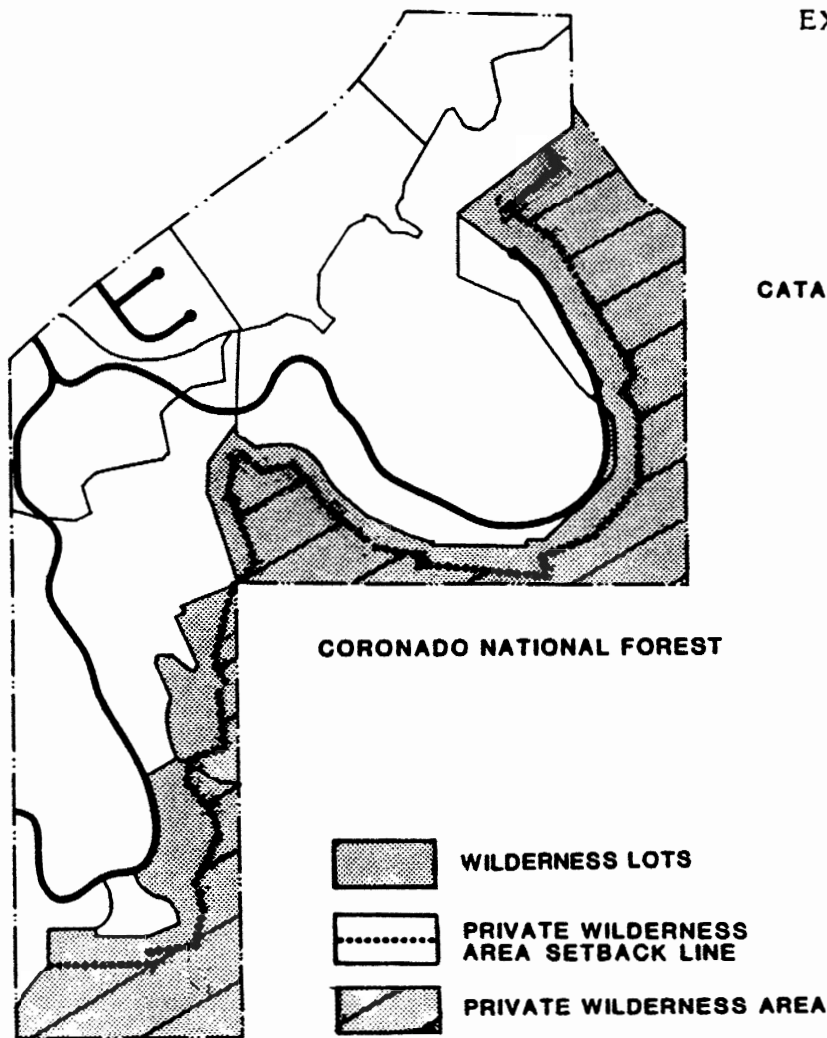
Any changes to the approved plans before, during, or after the construction of an improvement must first be submitted to the ARC for approval.

**WILDERNESS LOTS**

2.14 INTRODUCTION

Wilderness Lots, located adjacent to the Coronado National Forest and Catalina State Park, consists of a number of residences on large lots in a spectacular mountain setting. Because of the unique natural setting of the Wilderness Lots, special efforts are being made to minimize any disturbances to this environment. Dwellings shall be sited individually based upon a careful analysis (by the builder/owner's consultant) of topography, views, access and the natural setting (Exhibit G).

EXHIBIT G - WILDERNESS LOTS LOCATIONS



Beyond this "development envelope," no grading or construction may occur without the consent of the LRAC. During construction, this boundary (or a smaller portion if desirable) shall be temporarily fenced with 2 strands of wire and metal posts to ensure that no construction activities encroach into the natural areas. Within the development envelope, where feasible, architectural solutions are required as an alternative to large scale grading operations. These include the use of stem walls, split or multi-levels and staggering or turning of structures with respect to the natural terrain. All designs are subject to review by the LRAC.

## **2.15 SITE DEVELOPMENT STANDARDS**

### **A. Private Wilderness Area**

Each Wilderness Lot contains a private wilderness area (refer to Exhibit H) between the La Reserve development and adjacent public lands. The purpose of the wilderness area is to provide a buffer to the bighorn sheep habitat near Pusch Ridge.

Development restrictions on the Wilderness Lots are focused on protection of the sheep habitat. Location of developable sites within this area will be restricted. The road system will be located whenever possible out of visual range of the bighorns. Deed restrictions have been designed to limit activity of human and domestic animals adjacent to the private wilderness area to reduce the potential for adversely affecting the sheep. Other site specific restrictions on development will include non-glare roofing and paving materials, architectural designs to reduce window reflections and glare, the use of berms, walls and native desert vegetation in landscaping. These restrictions will act to filter noise and reduce visual impacts. Free roaming pets will not be allowed within any portion of the La Reserve development. Please refer to the accompanying codes, conditions and restrictions for additional information.

### **B. Minimum Lot Size/Density Restriction**

The minimum lot size for Wilderness Lots shall be 43,560 sq. ft. Only one main residence may be located on a lot. A development envelope shall be established for each mountain estate lot. This envelope defines the limit of grading and construction which may occur. Property lying outside the envelope shall remain undisturbed (Exhibit H).

### **C. Required Parking**

A minimum of two enclosed off-street parking spaces shall be provided per residence. Two additional guest parking spaces shall also be provided on the lot. No on-street parking shall be allowed except for emergencies.

D. Interior Roads/Drive Access

A private road shall be constructed to serve the Wilderness Lots. Private driveways shall be constructed from the roadway to individual residences. Driveways shall be constructed of asphalt, concrete or other all weather material to avoid erosion onto the collector road. Gravel driveways are prohibited.

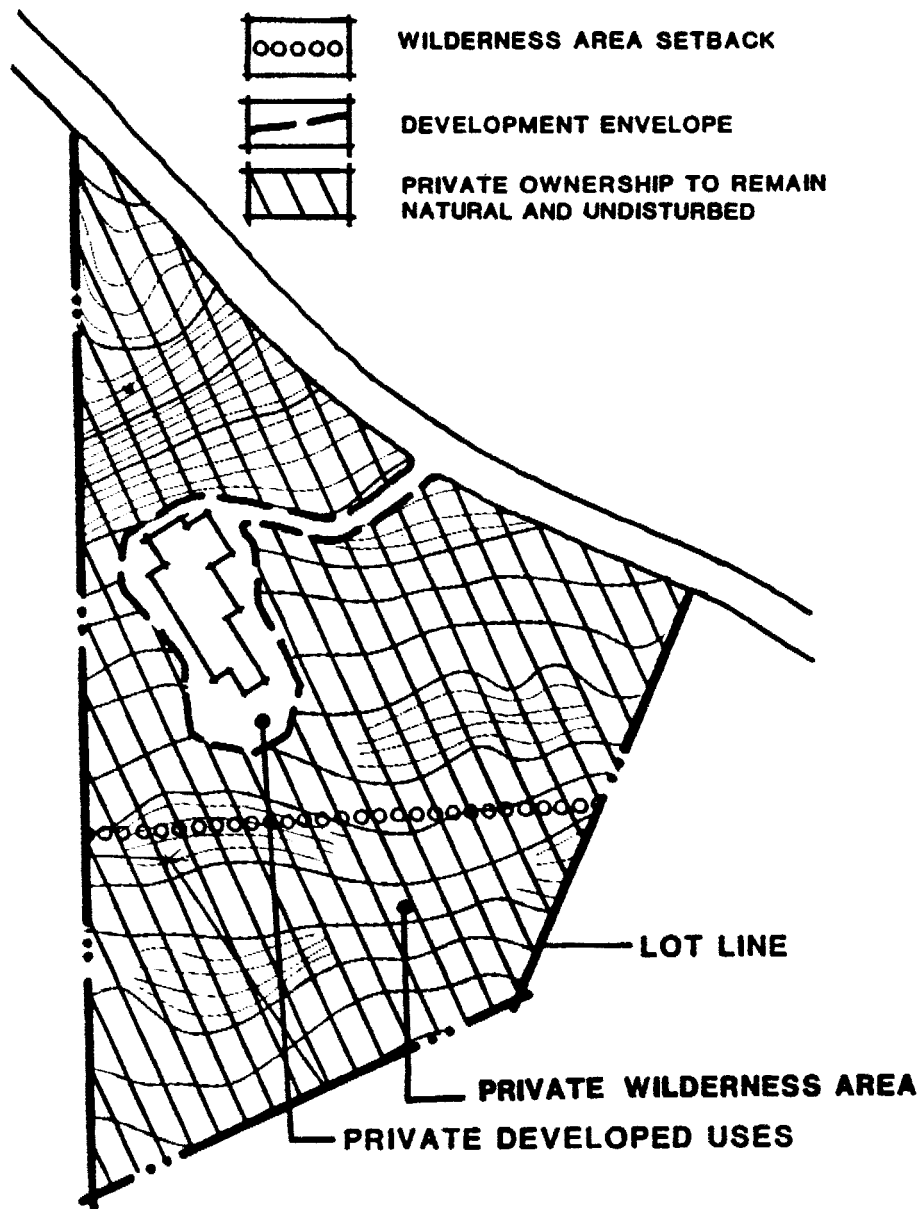


EXHIBIT H - DEVELOPMENT ENVELOPE

#### E. Lighting

Exterior lighting shall be minimized on all building surfaces which can be viewed from any other unit within the community. This shall mean that decorative and security lighting, if desired, shall be directed downward and be localized. No light standards or poles greater than 36 inches in height shall be allowed.

#### F. Swimming Pools and Tennis Courts

Swimming pools should be designed as being visually connected to the residence through walls or courtyards and screened from direct view of the road and adjacent dwellings.

Tennis courts are not permitted except in certain unique situations as approved by the LRAC. Tennis courts shall be sited to minimize visual impact from the street and surrounding properties.

### 2.16 LANDSCAPE AND ARCHITECTURAL STANDARDS

#### A. Setbacks

Appropriate setbacks for Wilderness Lots residences and other structures shall be established on an individual basis by the LRAC, taking into account topography, views and other site conditions.

#### B. Building Height

Precise building heights are subject to review by the LRAC. Generally, building heights will be determined based upon a careful analysis of site specific topography and other surrounding conditions, as well as the intended design of the residence. In no case shall the building height exceed 30 feet.

#### C. Building Size

Wilderness Lots shall have a minimum building area of 2,500 square feet. This area is to include only finished living space and is exclusive of garages, patios, decks, etc.

**SINGLE FAMILY DETACHED**

It is anticipated that several areas of detached single family residences shall be built in the La Reserve Community. These are intended to be high quality custom home sites on individual lots of varying sizes.

**2.17 INTRODUCTION**

**A. Circulation and Access**

**2.18 SITE DEVELOPMENT STANDARDS**

SFD areas shall be served by an internal collector private road with a street section of 24 feet. Combined or dual driveways to single family dwellings are encouraged to minimize the number of curb cuts. All driveways must be constructed of a permanent all weather material. Gravel driveways are prohibited.

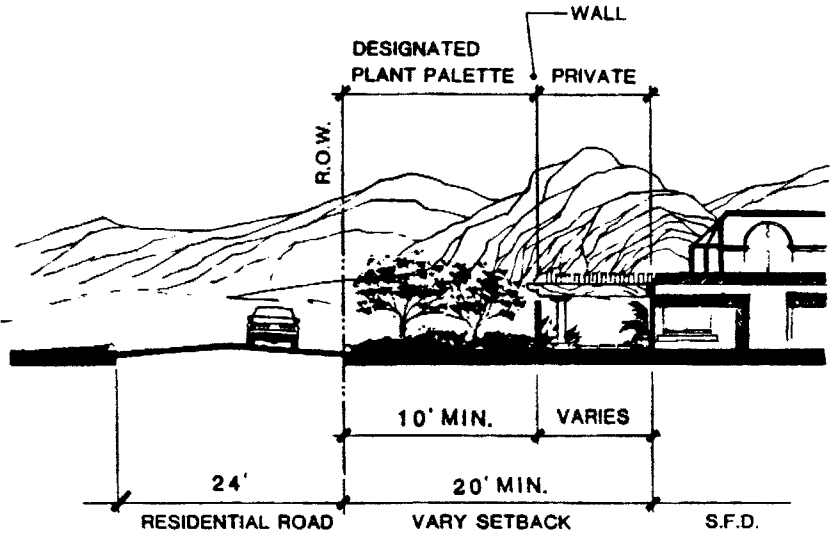
**B. Building Setbacks**

In order to encourage a unique and interesting streetscape appearance, variable front setbacks shall be provided for individual dwellings. No three adjoining residences shall have the same setback.

The following setbacks shall be established and maintained:

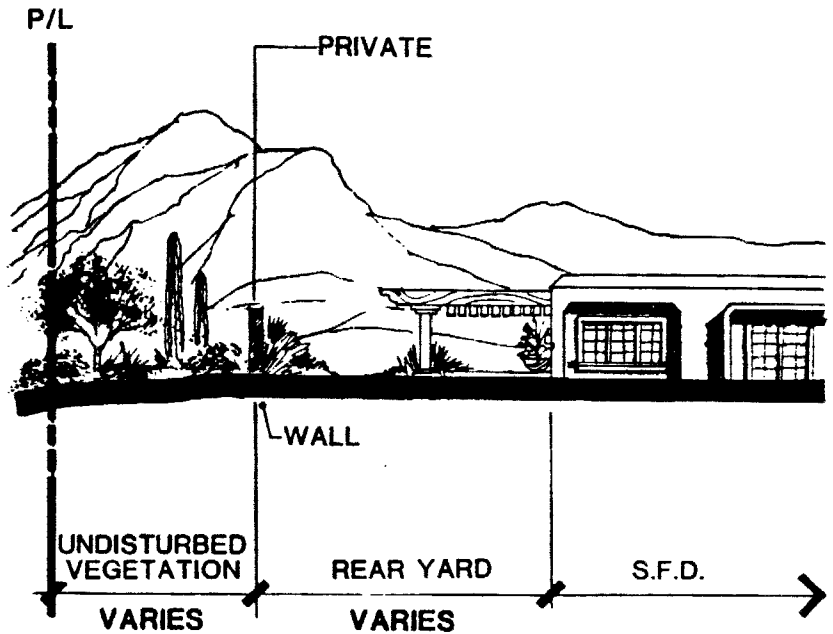
Setbacks from residential roadways shall be 10-foot minimum to patio wall and/or 20 feet minimum to building wall (Exhibit I) unless otherwise approved by the LRAC.

**EXHIBIT I - FRONT YARD SETBACKS**



Rear yard setbacks shall be determined on a lot by lot basis (with a minimum 10 foot setback) and are subject to approval by the LRAC (Exhibit J).

**EXHIBIT J - REAR YARD SETBACKS**



**C. Parking**

A minimum of two off-street parking spaces shall be provided on each lot in an enclosed garage structure. Three guest spaces shall also be provided.

**SINGLE FAMILY ATTACHED**

**2.19 INTRODUCTION**

Several areas of single family attached residential dwellings are planned for the La Reserve Community. These are intended as an alternative living environment to the single family detached custom lots. These may include multi-family, townhomes, zero lot line and condominium products. Attached residences will exhibit the same high quality construction and design as the other housing types at La Reserve.

**2.20 SITE DEVELOPMENT STANDARDS/ LANDSCAPE AND ARCHITECTURAL STANDARDS**

Single family attached products shall conform to the conditions specified in the project wide overall residential section. Specific design components shall be reviewed and approved by the LRAC on a case by case basis.

**OFFICE AND COMMERCIAL STANDARDS**

**2.21 PERMITTED USES**

In addition to standards contained in local zoning ordinances, it is envisioned that office and commercial uses will be restricted to uses that complement the nature of the surrounding community.

A. Circulation and Access

Major access to the office and commercial center will be off of the internal collector road. Vehicular driveways shall be a minimum of 30 feet in width. Secondary access points may also be permitted with a minimum driveway width of 24 feet. Gravel driveways or streets are prohibited.

B. Off-Street Parking

Adequate off-street parking shall be provided for each development. Parking configurations are subject to approval by the LRAC and are also governed by applicable provisions of the Planned Area Development.

C. Lighting

Lighting shall be provided within all parking lots and along walkways. Lighting fixtures in parking lots shall not exceed a height of 20 feet and shall be architecturally compatible with the overall building design program.

Lighting shall be directed downward to minimize negative impacts into adjacent areas.

The design and type of all lighting fixtures is subject to approval of the LRAC.

D. Signage

Signage shall be adequate to identify commercial and office uses yet be compatible, in terms of design and materials, with major buildings. One monument type sign shall be permitted for the office/commercial complex, not to exceed a height of 6 feet nor an area of 36 sq. ft. One wall sign shall be permitted for each occupant, not to exceed an area of 30 sq. ft. for each sign. Minor directory or identification signs (under 10 sq. ft.) may also be allowed with the approval of the LRAC. All signs must be approved by the LRAC prior to installation.

E. Grading, Drainage and Utilities

As part of the La Reserve Architectural Committee review board program, a grading and drainage plan shall be approved prior to site construction. Grading shall follow the general parameters established in the project-wide section. All utilities shall be placed underground.

2.23 LANDSCAPE AND  
ARCHITECTURAL  
STANDARDS

Commercial and office buildings are to be designed in such a manner as to be complementary with the surrounding desert environment. Landscape and architectural features shall conform with the following standards.

A. Landscaping - Quantity and Location

A minimum of 15 percent of the commercial and office building site area (lot) shall be permanently landscaped using planting material from the approved plant list. This shall be distributed throughout the parking lot(s) and building apron(s).

B. Setbacks and Landscaped Buffers

Generally, the following landscaped buffer areas shall be established and maintained unless modified on a case-by-case basis by the LRAC:

50 feet minimum setback from the outer edge of the right-of-way of Oracle Highway to commercial and office buildings.

40 feet minimum setback from any La Reserve Community Residence to commercial and office buildings.

C. Exterior Material, Color, Appearance

Approved building material includes: brick, stucco, adobe, masonry, concrete block or other suitable material as approved by the LRAC to promote and enhance the desert environment. Large expanses of wood are not permitted. It is expected that exterior treatments and colors will be of a muted, subtle earth tone, although limited use of bright accent colors may be utilized judiciously.

No highly reflective finishes (other than windows, which shall not be of reflective glass) are permitted with the minor exception of exterior building hardware.

D. Roofs

Roof design and construction material are subject to review and approval by the LRAC. Roof projections over windows are encouraged from an energy conservation perspective. Roofs shall be constructed of clay tile, slate, metal or wood shingles, all of which shall exhibit a muted earthtone. Other roof materials may be approved by the LRAC. No mechanical equipment of any kind is permitted on roofs. All vents and other projections shall be colored to blend with the roof.



**E. Walls**

Perimeter walls, where required or otherwise desired, shall not exceed a height of 6 feet above finished grade. Walls shall be constructed in accordance with Exhibits O, P and Q of the PAD and shall match the standard La Reserve colors for perimeter walls. The Planned Area Development requires a buffer wall between office/commercial areas and adjacent residential areas (Appendix C).

**F. Building Height**

No commercial or office structure shall exceed a height of 35 feet from finished grade, unless a variance is obtained from the LRAC and proper governmental authority.

**3. DESIGN REVIEW PROCESS**

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These design guidelines have been adopted to ensure that the La Reserve community develops in an overall consistent manner. The enforcing instrument is the LRAC, which reviews all proposals for construction and ensures that such proposals meet the intent not only of the guidelines, but the development philosophy of the La Reserve community. The Committee also has the authority to interpret the guidelines in the event the guidelines may not be explicit in a given instance. The Committee may also amend the guidelines.

**3.1 PURPOSE**

The LRAC shall consist of 5 members. Each member shall hold his or her office until such time as he or she shall resign or be removed.

**3.2 ARCHITECTURAL REVIEW COMMITTEE MEMBERSHIP AND ORGANIZATION**

Except as provided below, the right to appoint and remove members of the LRAC shall be solely vested with The Estes Co. or its assignees.

**3.3 APPOINTMENT OF MEMBERS**

The right from time to time to appoint and remove members shall be reserved to and vested in the La Reserve Community Association in the following fashion:

From and after January 1, 1989, the Association shall have the right to appoint and remove 2 members of the LRAC.

From and after January 1, 1993, the Association shall have the right to appoint and remove 5 members of the LRAC.

From and after 1996, the Association shall have the right to appoint and remove 3 members of the LRAC.

Members shall serve a maximum of 10 years and may resign from the LRAC during the term of office upon written notice to the The Estes Co. or Association, whichever entity then has the right to appoint a replacement member.

**3.4 TERM OF OFFICE/ RESIGNATION**

### 3.5 DUTIES

The LRAC shall consider and act upon proposals for construction and improvements within the La Reserve community to see that such proposals are in compliance with the standards, goals and objectives of these guidelines. The LRAC shall perform other such duties as from time to time may be delegated to it by the Association. The LRAC may also amend the guidelines.

### 3.6 MEETINGS

The LRAC shall meet periodically as necessary to perform its duties pursuant to the Conditions, Covenants and Restrictions. The vote or written consent of a majority of members shall constitute and act by the LRAC unless the unanimous decision of its members is otherwise required by the CC&R's or these Design Guidelines. The LRAC shall keep and maintain a written record of all actions taken by the Committee. Furthermore, the LRAC may delegate its authority to a single member of the LRAC to act on the behalf of the LRAC. Such delegation is effective if it is in writing and signed by all members of the LRAC.

### 3.7 COMPENSATION

Unless specifically authorized by the Association, members of the Committee shall not receive any compensation for services rendered. All members shall be entitled to reimbursement for reasonable expenses incurred in the performance of their function or duty. Professional consultants retained by the Committee shall be paid such compensation as determined by the Committee.

### 3.8 AMENDMENT TO DESIGN STANDARDS

The LRAC may from time to time adopt, amend, and repeal by unanimous vote, these Design Guidelines, which may serve to supplement, clarify, interpret or implement the Guidelines. All such rules and regulations shall be appended and made a part of the Design Standards and shall thereupon have the same force and effect as if they were a part of the original guidelines. Each property owner is responsible for obtaining a copy of the most current standards.

### 3.9 NON-LIABILITY

Neither the LRAC nor any member thereof shall be liable to the Homeowner's Association or to any other owner or person for any damage, loss or prejudice suffered or claimed on account of (a) the approval or disapproval of plans, drawings and specifications whether or not defective, (b) the construction or performance of work, whether or not pursuant to approved plans, drawings and specifications.

## DESIGN REVIEW PROCEDURES

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Plans and specifications shall be submitted to the LRAC in accordance with the following procedures.

### 3.10 SUBMITTAL OF PLANS

The LRAC shall conduct reviews of plans during regular meetings or at such other times as deemed appropriate. Applicants, architects, engineers, builders or owners may not attend any meeting of the LRAC unless specifically requested by the Committee. The LRAC shall respond in writing within 15 working days after the review, provided the plans are in accordance with the requirements outlined in this section. Results of reviews will not be discussed over the telephone with applicants, owners or their consultants. Any responses by an owner or applicant may wish to make in response to a decision made by the Committee must be made to the Committee in writing.

### 3.11 REVIEW OF PLANS

Review fees will be established on a proposal by proposal basis depending upon the scale, scope and complexity of the associated review process, but in no event shall a review fee be less than five hundred (500) dollars.

### 3.12 FEES

Prior to preparing plans for any proposed improvements, it is strongly recommended that an owner and/or his architect meet with a member or members of the LRAC to discuss proposed plans. The intent of this informal meeting is to offer guidance prior to preparation of preliminary plans.

### 3.13 PRE-DESIGN MEETING

The preliminary plans, including all of the exhibits described below, are to be submitted after the pre-design meeting.

### 3.14 PRELIMINARY SUBMITTAL

The preliminary submittal package shall consist of three (3) sets of the following items:

1. Site plan at appropriate scale showing the location of buildings, building envelope, the residence and all buildings or other major structures, driveway, parking areas, walls, mailbox locations and a grading plan, including existing and proposed topography.
2. Survey prepared by a licensed surveyor or civil engineer showing lot boundaries and dimensions, topography on a scale standard in the industry for similar projects, major terrain features, including rock outcroppings and washes, and indicating all protected plants, highlighting those plant materials which will be removed during construction or that are within 20 feet of the proposed

improvements. Any applicant submitting plans for approval to the LRAC shall be responsible for the verification and accuracy of all lot dimensions, grade, elevations, and the location of the key features of the natural terrain. Each applicant shall certify to the accuracy thereof before the LRAC will undertake its review.

3. Roof plan and floor plans (at no less than 1/8" = 1'0").
4. Exterior elevations (all) with both existing and proposed grade lines at same scale as floor plans.
5. Indication of all exterior materials and colors.
6. Design review fee in an amount specified by the LRAC.
7. Any accessory improvements contemplated on the lot must be shown on the preliminary submittal.
8. Any other drawings, materials, or samples requested by the LRAC.
9. To assist the LRAC in its evaluation of the preliminary plans, the applicant shall provide preliminary staking at the locations of the corners of the residence or major improvement and at such other locations as the LRAC may request.

### 3.15 PRELIMINARY REVIEW

The LRAC will review the preliminary plans and provide a written response to the applicant.

After preliminary approval is obtained from the LRAC, the following documents are to be submitted for final approval prior to any grading or construction.

1. Final Plans Shall Include:

1. An approximate time schedule indicating starting and completion dates of construction, utility hook-up, completion of landscaping work and anticipated occupancy date.
2. Site plan showing the location of the building, building envelope, the residence and all buildings or other major structures, driveway, parking areas, grading plan, including existing and proposed topography, utility connections, and finished floor elevations, including garage.
3. Roof plan and floor plans (at no less than 1/8" = 1'0").
4. Samples of all exterior materials and colors, and window and glass specifications. Samples must be presented on an 18" x 24" board (at least 1/8" thick) clearly marked with applicant's name, filing date, and lot description. All samples must be identified with manufacturer's name, color, and/or number.
5. Exterior elevations (all) with both existing and proposed grades shown.
6. Wall section, and details of exterior decks or patios.
7. Complete landscape plan, on same scale as site plan, showing: areas to be irrigated, if any; proposed plants and sizes thereof; driveway, retainage, decorative features, etc., if not shown elsewhere on architectural plans; and, an indication of the area wherein storage of materials and debris will be confined.
8. Cross section of structure indicating existing and proposed grade lines on the site.

9. Exterior building corners of the proposed residence or other structures and other major improvement areas, including the driveway location if requested by the LRAC, shall be staked on the site for the LRAC's inspection. All plants proposed for transplanting shall be tagged.
10. The final response by the LRAC shall be issued in writing. However, at least three days prior to commencement of construction, or any other on-site work, the applicant shall notify the LRAC so that it can make a visual inspection of the lot to insure that the final building layout and staking is in accordance with the final plans approved by the LRAC.
11. Engineering certification of foundations and the securing of a building permit is the responsibility of the owner and/or builder. Construction documents (working drawings and specifications) are to be in accordance with the final design and plans approved by the LRAC. Clearing, grading, or construction shall not commence until all of the above requirements are satisfied.

### 3.17 SUBSEQUENT CHANGES

Additional construction, landscaping, or other improvements and/or any changes after completion of an approved structure must be submitted to the LRAC for approval prior to making such changes and/or additions.

### 3.18 RESUBMITTAL OF PLANS

In the event of any disapproval by the LRAC of either a preliminary or a final submission, a resubmission of the plans should follow the same procedure as an original submittal. An additional architectural review fee shall accompany each such resubmission as required by the LRAC.

### 3.19 INSPECTION OF WORK IN PROGRESS

The LRAC may inspect all work in progress and give notice of non-compliance. Absence of such inspection and notification during the construction period does not constitute either approval of the LRAC with work in progress or compliance with these Design Guidelines or the Declaration.

### 3.20 COMPLETED WORK

1. Upon completion of any residence or other improvement for which final approval was given by the La Reserve Architectural Committee, LRAC, the Owner shall give written notice of completion to the La Reserve Architectural Committee.
2. Within such reasonable time as the LRAC may determine, but in no case exceeding 15 days from receipt of such written notice of completion from the Owner, or its duly authorized representative, a representative from the LRAC may inspect the residence and/or improvements. If it is found that such work was not done in strict compliance with the final plan approved by the LRAC, it shall notify the Owner in writing of such non-compliance within 5 days after its inspection, specifying in reasonable detail the particulars of non-compliance and shall require the Owner to remedy the same.
3. If, upon the expiration of 30 days from the date of such notification by the LRAC, the Owner shall have failed to remedy such non-compliance, the LRAC shall notify the Owner, and it may take such action to remove the non-complying improvements as is provided for in the Design Guidelines or the Declaration, including without limitation injunctive relief or the imposition of a fine.
4. If, after receipt of written notice of completion from the Owner, the LRAC fails to notify the Owner of any failure to comply within the provided period following the LRAC's inspection, the improvements shall be deemed to be in accordance with the final plan. LRAC approval does not supercede nor negate the standards of governing jurisdictions.

The approval by the LRAC of any plans, drawings, or specifications for any work done or proposed, or in connection with any other matter requiring the approval of the LRAC under the Design Guidelines or the Declaration, including a waiver by the LRAC shall not be deemed to constitute a waiver of any right to withhold approval as to any similar plan, drawing, specification, or matter whenever subsequently or additionally submitted for approval.

### 3.21 NON-WAIVER

The LRAC reserves the right to waive or vary any of the procedures or standards set forth herein at its discretion, for good cause shown.

### 3.22 RIGHT TO WAIVER

### 3.23 ESTOPPEL CERTIFICATE

Within 30 days after written demand therefore is delivered to the La Reserve Architectural Committee by any Owner, and upon payment therewith to the LRAC of a reasonable fee from time to time to be fixed by it, the La Reserve Architectural Committee shall record an estoppel certificate executed by any two of its members, certifying with respect to any lot of said Owner, that as of the date thereof either (a) all improvements and other work made or done upon or within said lot by the Owner, or otherwise, comply with the Design Guidelines and the Declaration, or (b) such improvements and/or work do not so comply, in which event the certificate shall also (1) identify the non-complying improvements and/or work and (2) set forth with particularity the cause or causes for such non-compliance. Any purchaser from the Owner, or mortgagee or other encumbrancer, shall be entitled to rely on said certificate with respect to the matters therein set forth, such matters being conclusive as between the Association, the La Reserve Architectural Committee, Declarant, all Owners and other interested persons, and such purchaser, mortgagee, or other encumbrancer.

### 3.24 COMMENCEMENT OF CONSTRUCTION

Upon receipt of approval from the LRAC, the Owner shall, as soon as practicable, satisfy all conditions thereof, if any, and diligently proceed with the commencement and completion of all construction, reconstruction, refinishing, alterations, and excavations pursuant to the approved plans. The Owner shall satisfy all conditions and commence the construction, reconstruction, refinishing, alterations, or other work pursuant to the approved plans within 1 year from the date of such approval. If the Owner shall fail to comply with this paragraph, any approval given shall be deemed revoked unless, upon the written request of the Owner made to the LRAC prior to expiration of said 1-year period and upon a finding by the LRAC that there has been no change in circumstances, the time for such commencement is extended in writing by the LRAC. The LRAC shall determine, on a case-by-case basis, the appropriate maximum construction period permitted for any proposed improvement(s). The Owner shall in any event complete the major construction or reconstruction of any improvement on his lot within 1 year after commencing construction thereof. Minor construction or reconstruction (including the roof, exterior walls, windows and doors) shall be completed within 6 months from the commencement of construction, except and for so long as such completion is rendered impossible or would result in great hardship to the Owner due to strikes, fires, national emergencies, or natural calamities. If Owner fails to comply with this paragraph, the LRAC shall notify the Association of such failure and the Association, at its option, shall either complete the exterior in accordance with the approved plans or remove the improvement, and the Owner shall reimburse the Association for all expenses incurred in connection herewith.



## 4. CONSTRUCTION REGULATIONS

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To assure that the natural desert landscape of each Lot is not damaged during any construction activities, the following construction regulations shall be enforced during the construction period. These regulations shall be made a part of the construction contract document specifications for each Residence or other Improvements on a Lot and all Builders, Owners, and other Persons shall be bound by these regulations. Any violation by a Builder shall be deemed to be a violation by the Owner of the Lot.

### 4.1 PURPOSE

Prior to commencing construction, the Builder must meet with a representative of the LRAC to review construction procedures and coordinate his activities in the La Reserve community.

### 4.2 PRE-CONSTRUCTION CONFERENCE

All applicable OSHA regulations and guidelines must be strictly observed at all times.

### 4.3 OCCUPATIONAL SAFETY AND HEALTH ACT COMPLIANCE

Any Owner or Builder who desires to bring a construction trailer, field office, or the like to the La Reserve community shall first apply for and obtain written approval from the LRAC. The LRAC will work closely with the Owner or Builder to determine the best possible location therefore. Such temporary structures shall be located only in a location approved by the LRAC and shall be removed upon completion of construction.

### 4.4 CONSTRUCTION TRAILERS, PORTABLE FIELD OFFICES, ETC.

Owners and Builders shall clean up all trash and debris on the construction site at the end of each day. Trash and debris shall be removed from each construction site at least once a week to a dumping site located off the project. Lightweight material, packaging, and other items, shall be covered or weighted down to prevent wind from blowing such materials off the construction site. Owners and Builders are prohibited from dumping, burying, or burning trash anywhere on the lot except in areas, if any, expressly designated by the La Reserve Architectural Committee. During the construction period, each construction site shall be kept neat and shall be properly policed to prevent it from becoming a public eyesore, or affecting other lots and any open space.

### 4.5 DEBRIS AND TRASH REMOVAL

Each Owner and Builder shall be responsible for providing adequate sanitary facilities for his construction workers. Portable toilets or similar temporary toilet facilities shall be located only on the site itself or in areas approved by the La Reserve Architectural Committee.

### 4.6 SANITARY FACILITIES

#### 4.7 VEHICLES AND PARKING AREAS

Construction crews will not park on, or otherwise use, other lots or any open space. Private and construction vehicles and machinery shall be parked only in areas designated by the La Reserve Architectural Committee. All vehicles will be parked so as not to inhibit traffic, and within the designated areas so as not to damage the natural landscape.

#### 4.8 CONSERVATION OF LANDSCAPING MATERIALS

Owners and Builders are advised of the fact that the lots and open spaces contain valuable native plants and other natural landscaping materials that should be absolutely protected during construction, including topsoil, rock outcroppings and boulders, and plant materials.

Materials that cannot be removed should be marked and protected by flagging, fencing, or barriers. The La Reserve Architectural Committee shall have the right to flag major terrain features or plants which are to be fenced off for protection. Any trees or branches removed during construction must be promptly cleaned up and removed immediately from the construction site.

#### 4.9 EXCAVATION MATERIALS

Excess excavation materials must be hauled away from the subject property to a designated location.

#### 4.10 BLASTING

The LRAC shall supply a list of contractors qualified to undertake blasting operations within the fragile desert environment.

If blasting is to occur, the La Reserve Architectural Committee must be informed far enough in advance to allow it to make such investigation as it deems appropriate to confirm that all appropriate measures, including protective actions, have been taken prior to the blasting. No blasting or impact digging causing seismic vibrations may be undertaken without the approval of the La Reserve Architectural Committee. Applicable governmental regulations should also be reviewed prior to any blasting activity.

#### 4.11 RESTORATION OR REPAIR OF OTHER PROPERTY

Damage and scarring to other property, including, but not limited to, open space, other lots, roads, driveways, and/or other improvements will not be permitted. If any such damage occurs, it must be repaired and/or restored promptly at the expense of the person causing the damage or the Owner of the lot. Upon completion of construction, each Owner and Builder shall clean his construction site and repair all property which was damaged, including but not limited to restoring grades, planting shrubs and trees as approved or required by the La Reserve Architectural Committee and repair of streets, driveways, pathways, drains, culverts, ditches, signs, lighting, and fencing.

Prior to the commencement of any construction activity on a lot, the Owner and Builder shall provide a detailed plan as to the manner in which the natural desert will be protected, and the areas to which all construction activity will be confined to, including: size and location for construction material storage, limits of excavation, drive areas, parking, chemical toilet location, temporary structures, if any, dumpsters, storage of debris, fire extinguisher, utility trenching, and construction sign. This plan should identify the methods for protection, such as fencing, flagging, rope, barricades, or other means, to be set up prior to commencement of construction.

4.12 CONSTRUCTION  
AREA PLAN

The only approved construction access during the time a residence or other improvements are being built will be over the approved driveway for the lot unless the La Reserve Architectural Committee approves an alternative access point.

4.13 CONSTRUCTION ACCESS

All Owners will be absolutely responsible for the conduct and behavior of their agents, representatives, Builders, contractors, and subcontractors in the La Reserve community. The following practices are prohibited in the La Reserve community.

4.14 MISCELLANEOUS AND  
GENERAL PRACTICES

Changing oil on any vehicle or equipment on the site itself or other than at a location designated for that purpose by the La Reserve Architectural Committee.

Allowing concrete suppliers and contractors to clean their equipment other than at locations designated for that purpose by the La Reserve Architectural Committee.

Removing any rocks, plant material, topsoil, or similar items from any property of others within the La Reserve community, including construction sites.

Consumption of alcoholic beverages.

Carrying any type of firearms on the property.

Using disposal methods or units other than those approved by the La Reserve Architectural Committee.

Careless disposition of cigarettes and other flammable material. At least one 10-pound ABC-rated dry chemical fire extinguisher shall be present and available in a conspicuous place on the construction site at all times.

Careless treatment or removal of any desert plant materials not approved previously by the LRAC.

Use or transit over the recreational open space.

The Contractor shall be responsible for controlling dust and noise from the construction site per applicable governmental ordinances and regulations.

4.15 DUST AND NOISE  
CONTROL

4.16 SIGNAGE

Temporary construction signs shall be limited to one sign per site not to exceed 6 square feet of total surface area. The sign shall conform to the La Reserve sign, walls and monuments concept and the design and location of such a sign shall be approved first by the LRAC.

4.17 HOURS OF OPERATION

Daily working hours for each construction site shall be 6:00 a.m. to 6:00 p.m. Monday through Saturday. No construction work shall be permitted on Sundays.

## APPENDIX A

### APPROVED PLANT LIST

The Architectural Review Committee has found the plants included in the following list to be inherently compatible with the natural desert within the existing La Reserve area. Landscaping and revegetation within the transition and walled areas with these plants is encouraged by the ARC. All Sonoran Desert species of cacti are acceptable for use within the La Reserve community. Species known to occur within the Tucson Basin and not included on this list are acceptable for planting, subject to the approval of the ARC. Written approval must be obtained from the ARC prior to revegetation with species not included on this list. Other plant material may be subsequently added to or deleted from this list as determined appropriate for the La Reserve community by the Architectural Review Committee. It is suggested that Arizona Flora, 2nd Edition, Kearney and Peebles; University of California Press, 1960, be used as the standard reference for clarification of questions concerning plants.

We have attempted to list native plants or indigenous plants. This refers to species which have not been introduced in the last 50 years and which grow within the immediate biogeographical zone or range. By definition, therefore, a plant which occurs within the range of "Sonoran" plants but only in Mexico would not be considered "native" to the Tucson Basin. Some exceptions have been allowed to promote use of plants which possess exceptional characteristics appropriate to the La Reserve community. Plants names preceded by an asterisk indicate species which are located most easily through commercial outlets. Following the approved plant list is a detailed description of selected plants to assist the residents and builders of La Reserve to select appropriately for their specific landscape requirements.

Abutilon californicum	California Abutilon
Acacia angustissima	Fern Acacia
A. constricta	White Thorn Acacia
A. craspedocarpa	Leather Leaf Acacia
*A. farnesiana	Sweet Acacia
A. greggii	Catclaw Acacia
A. millefolia	Santa Rita Acacia
*A. redolens	Prostrate Acacia (non-native but "naturalized")
*Agave species	Century Plants, Spanish Daggers
*A. palmeri	Palmer Agave
*A. schottii	Amole
*A. utahensis	Utah Agave
Aloysia lycioides	White Brush
Amaranthus palmeri	Palmer's Amaranth
Amaranthus palmeri	Silktassel
Ambrosia deltoidea	Bur Sage
Anisacanthus thurberi	Chuparosa (Desert Honeysuckle)
Arctostaphylos pungens	Pointleaf Manzanita
Artemisia ludoviciana	
A. dracunculoides	
Asclepias subulata	Desert Milkweed
*Atriplex canescens	Four Wing Salt Bush
A. hymenelytra	Desert Holly
A. lentiformis	Quail Bush

APPROVED PLANT LIST  
(Continued)

A. mulleri	Old Man Salt Bush
A. nummularia	Desert Salt Bush, Cattle Spinach
A. polycarpa	Australian Salt Bush (non-native but "naturalized")
*A. semibaccata	
Bebbia juncea	Bebbia
Beloperone californica	Chuparosa
Berberis haematocarpa	Red Barberry
Buddleja marrubifolia	Wooly Butterfly Bush, Summer Lilac
Bursera fagaroides	Elephant Tree
B. microphylla	Elephant Tree
Caesalpina gillessii	Yellow Bird of Paradise (non-native but "naturalized")
*C. pulcherrima	Mexican Bird of Paradise (non-native but "naturalized")
Calliandra californica	Fairy Duster
*C. eriophylla	Fairy Duster, False Mesquite
C. penninsularis	Fairy Duster
Canotia holacantha	Crucifixion Thorn
Carlowrightia arizonica	Carlowrightia
*Carnegiea gigantea	Saguaro
*Cassia artemesioides	Feathery Cassia
C. circinnata	
C. covesii	Desert Senna
C. goldmannii	
C. leptophylla	
C. nemophylla	Green Feathery Cassia
C. philodinea	Silver Cassia
C. purpussiae	
C. sturtii	Sturts Cassia
C. wislizenii	Shrubby Cassia
Celtis pallida	Desert Hackberry
C. reticulata	Netleaf Hackberry, Palo Blanco
*Cercidium floridum	Blue Palo Verde
*C. microphyllum	Foothill Palo Verde
C. praecox	Palo Brea, Sonoran Palo Verde
Cercocarpus montanus	Mountain Mahogany
*Chilopsis linearis	Desert Willow, Desert Catalpa
Clianthus formosus	Sturts Desert Pea
Condalia lycioides	Graythorn
C. spathulata	Mexican Crucillo
Cordia parviflora	
Crossosoma bigelovii	Crossosoma
*Dalea greggii	Indigo Bush
D. formosa	Feather Dalea
D. pulchra	Gregg Dalea
D. parryi	
D. wislizenii	Indigo Bush
D. neomexicana	

APPROVED PLANT LIST  
(Continued)

D. pogonethera	Desert Spoon
*Dasylyron wheeleri	Hop Bush
*Dodonaea viscosa	Hedgehog Cholla
Echinocereus englemannii	Claret Cup Hedgehog
E. triglochidiatus	Brittle Bush
*Encelia farinosa	Mormon Tea
Ephedria trifurca	Buckwheat
Eriogonum fasciculatum	Apache Plume
Fallugia paradoxa	Cliffendlerbush
Fendlera rupicola	Barrel Cactus
Ferocactus wislizenii	Ocotillo
*Fouquieria splendens	Canyon Ragweed
Franseria ambrosioides	Snakeweed
Gutierrezia californica	Turpentine Bush
Haplopappus laricifolia	Burro Weed
H. tenuisectus	Mockpenny Royal
Hedcoma nanum	Red Yucca (non-native but "naturalized")
•Hesperaloe parviflora	Crucifixion thorn
Holacantha emoryi	Desert Lavender
Hyptis emoryi	Janusia
Janusia gracilis	Limber Bush
Jatropha cardiophylla	Jojoba
Jojoba simmondsia	White Ratany
Krameria grayi	Creosote Bush
*Larrea tridentata	Texas Ranger (non-native but "naturalized")
*Leucophyllum frutescens	
Lupine spp.	Anderson Lycium
Lycium andersoni	Berlandier's Wolfberry
L. berlandieri var. longistylum	Thornbush
L. exsertum	Wolfberry, Tomatillo
L. fremonti	Thornbush
L. macrodon	Wolfberry
L. pallidum	Palo Blanco
Lysiloma candida	Fern of the Desert
*L. thornberi	Fish-hook
Mammillaria microcarpa	Pincushion
M. aggregata	Catclaw, Wait-a-Minute Bush
Mimosa biuncifera	Velvet Pod Mimosa
M. dysocarpa	
Mimulus cardinalis	
M. glabratus	
M. guttatus	
M. nasutus	
M. pilosus	
M. rubellus	
Nicotiana spp.	Wild Tobacco
Nolina bigelovii	Bigelow Nolina

APPROVED PLANT LIST  
(Continued)

N. microcarpa	Bear Grass
*Oenothera berlandieri	Mexican Primrose (non-native but "naturalized")
Olneya tesota	Ironwood
O. fesota	Ironwood
Opuntia acanthocarpa	Staghorn Cholla
O. bigelovii	Teddy Bear Cholla
O. englemannii	Englemann Prickly Pear
O. fulgida	Spiney Chainfruit Cholla
O. fulgida var. mammillata	Smooth Chainfruit Cholla
O. phaeacantha	Sprawling Prickly Pear
O. spinosior	Cane Cholla
O. versicolor	Staghorn Cholla
Penstemon dasyphyllus	
P. microphyllus	
P. parryi	
P. pseudospectabilis	
P. thurberi	
Philostrophe cooperi	Paperflower
*Prosopis alba	Argentine Mesquite (non-native but "naturalized")
*P. chilensis	Chilean Mesquite (non-native but "naturalized")
*P. hybrid	South American Mesquite (non-native but "naturalized")
•P. juliflora	Western Honey Mesquite
P. juliflora var. velutina	Velvet Mesquite
P. pubescens	Fremont Screwbean
*Quercus terbinella	Canyon Oak
Rhamnus betulaefolia	Birch-leaf buckthorn
R. crocea	Redberry
•Rhus ovata	Mountain Laurel
R. trilobata	Squaw (Skunk) Bush
Ruellia nudiflora	
Salvia carnosia	
S. columbariac	Chia
S. henryi	
S. parryi	Parrys groundsel
S. pinquifolia	
S. columbariac	Chia
S. quercelorum	
Senico amissa	
S. lemmoni	Lemmons groundsel
S. subincisa	
S. vulgaris	
S. longilobus	Threadleaf groundsel
Seneco salignus	Willow-leaf Groundsel
*Simmondsia chinensis	Jojoba, Goat Nut (non-native but "naturalized")



APPROVED PLANT LIST  
(Continued)

Sophora formosa	
*Tecoma stans	Trumpetbush, Arizona Yellow Bells
Vaquilinea californica	Arizona Rosewood
Viguiera deltoidea	Golden Eye
V. tomentosa	Golden Eye
Vitis arizonica	Arizona Grape
Yucca baccata	Banana Yucca
*Y. elata	Soap Tree Yucca
Y. schottii	Schott's Yucca
Y. thornberi	Thornberry Yucca
Zauschneria latifolia	Hummingbird Flower
Zizyphus obtusifolia	Greythorn, White Crucillo

## ACACIA FARNESIANA

Sweet acacia

Average mature height

20 feet

Average mature spread

to 20 feet

### CHARACTERISTICS AND USE:

Canopy-shaded deciduous tree at maturity with fine-textured lace-like foliage. Brilliant show of tiny yellow puff balls. Highly fragrant during this time. Blooming period occurs any time from mid-November to February or March. Excellent landscape specimen at maturity or as an accent plant or summer shade tree.

### MAINTENANCE REQUIREMENTS:

Tolerant of alkaline soils and dry conditions but will grow lush and fast if drip irrigated. Sweet acacia can take temperatures to approximately 18 degrees F. If subjected to frost damage, it will suffer temporary branch die-back. Will, however, usually recover quickly in spring. A hardier species, *A. smalli*, has recently been introduced. If available, consider this one.

## CERCIDIUM FLORIDUM

Blue palo verde

Average mature height

20 feet

Average mature spread

25 feet

### CHARACTERISTICS AND USE:

Probably the most useful and colorful tree in our plant palette. In spring it dazzles with its wonderous display of masses of bright yellow blossoms. It is the first of the palo verdes to bloom and the brightest, joyously announcing the end of winter. Use as front yard tree theme, patio and shade tree. Color accent. Tree is most attractive in its youth. Older trees attain character and need pruning to maintain shape and trunk structure. Deciduous.

### MAINTENANCE REQUIREMENTS:

Blossom drop and seed pods will cause litter which may be bothersome within a paved courtyard. Out in the open, one would not notice it. Delicate blue-green foliage is maintained only if the tree is properly watered and planted with good drainage. Prune up lower branches to develop clearly defined trunk structure. Watch for palo verde beetles in summer. Consult your nurseryman for state-of-the-art control.

## CERCIDIUM MICROPHYLLUM

### Little-leaf palo verde

Average mature height

20 feet

Average mature spread

20 feet

#### CHARACTERISTICS AND USE:

This palo verde has a smooth yellow-green bark, and a relatively short trunk. Little-leaf palo verdes bloom later than Blue palo verdes and are not as spectacular. Irregularly shaped with a dense crown of spiny twigs, it is generally associated with Saguaro settings in Southern Arizona. Useful as a small patio tree or background use. Deciduous.

#### MAINTENANCE REQUIREMENTS:

Will tolerate heat, drought and alkaline soil but will grow slowly under these conditions. Drip irrigation will do wonders. Good drainage is essential.

## CHILOPSIS LINEARIS

### Desert willow

Average mature height

20 feet

Average mature spread

12 feet

#### CHARACTERISTICS AND USE:

Willow-like in appearance (although not a member of the willow family), this graceful tree is normally seen growing along washes and stream beds throughout Southern Arizona. It has an open, casual form with long, graceful leaves. Blossoms are orchid shaped, ranging from white to deep purple, appearing profusely in spring and continuing into summer if soil moisture is adequate. Use in casual grove-like groupings or as a "see-through" accent tree. Deciduous.

#### MAINTENANCE REQUIREMENTS:

Not particular regarding soil conditions. Desert willows do, however, thrive and flourish if given deep occasional irrigation, resulting in faster growth and prolonged blooming. Prune lower branches of saplings to form a distinctive multi-trunked tree shape. Trim seed pods after blooming for neat appearance.

## LYSILOMA THORNBURI

### Feather-bush

Average mature height

to 15 feet

Average mature spread

to 15 feet

### CHARACTERISTICS AND USE:

Delicate fern-like leaves and graceful branching habit makes Feather-bush a choice selection when a lush quasi-tropical effect is desired. Flower clusters 5/8 inch in diameter appear in May or June, creamy white and ball shaped. Good entry statement plant, especially if oriented toward south or west exposure. Deciduous.

### MAINTENANCE REQUIREMENTS:

Will withstand heat and drought but will suffer die-back if temperatures drop to 25 degrees F. Will recover quickly in Spring. To develop a true tree-like shape, water deeply and regularly and remove lower branches.

## OLNEYA TESOTA

### Desert Ironwood

Average mature height

to 30 feet

Average mature spread

to 20 feet

#### CHARACTERISTICS AND USE:

Attractive but slow-growing desert tree with one or several short trunks and sharp, thorny branches. Sensitive to cold, freezing at about 20 degrees. During mild winters, however, will remain evergreen. Foliage is dense, grey-green and finely textured. Blooms in early summer with masses of violet flower clusters. If this tree is existing on your property, treasure and nourish it. Its slow-growing characteristics, however, discount it as a first choice if selecting a tree from a nursery.

#### MAINTENANCE REQUIREMENTS:

Very drought and heat tolerant. Water regularly, however, to overcome its slow-growth characteristics. Prune to expose trunk structure and remove excess cross branches.

## PARKINSONIA ACUELATA

### Mexican palo verde

Average mature height

20 feet

Average mature spread

20 feet

#### CHARACTERISTICS AND USE:

Smooth yellow-green bark characterizes this handsome and useful tree, along with its bright yellow blossoms and delicate crown of long, slender leaf blades. Mexican palo verde can be described as a "transparency" tree because of the delicacy of its leaf blade configuration. Excellent tree for color accent, filtered shade, and most landscape situations. Not recommended for enclosed patio situations or near pools because of litter. Deciduous.

#### MAINTENANCE REQUIREMENTS:

Mexican palo verde is virtually maintenance free. Natural crown shape eliminates need for constant pruning. Low water requirements, although occasional deep watering during spring and summer will result in faster, more luxuriant growth. Does require good drainage. Palo verde root borers need watching. More sensitive to cold than other palo verdes.

## PROSOPIS SPECIES

### Mesquite

Average mature height

20 feet

Average mature spread

30 feet

### CHARACTERISTICS AND USE:

Several species of mesquites are available at nurseries. All have common characteristics (dense shade, canopy form, drought and heat tolerant, distinct trunk structure). Mesquites are perhaps the most valuable trees in the Southern Arizona landscape. They are especially useful as thermal controllers when planted along south or west walls. Their dense foliage filters out the heat of the hottest sun and cools the structure. The following varieties are readily available and flourish in our area:

\* Prosopis alba (Argentine mesquite) is perhaps the fastest growing and the most vigorous. Distinctive, dark trunk. Spreading, canopy-like crown, dark-green and dense. Nearly evergreen.

• Prosopis chilensis (Chilean mesquite) is more upright and vase-like in appearance. Needs at least 30 feet for free development. Foliage is lacy and open. Loses leaves for a short time in winter. Juvenile trees have large thorns but these diminish in time.

• Prosopis hybrid (South American mesquite) has a very vigorous and wide-spreading crown. Fast-growing, especially with drip irrigation. Rugged, distinctive trunk configuration. Almost evergreen but loses its leaves for a short time in late winter. Majestic at maturity.

\* Prosopis juliflora (Common mesquite) is found naturally throughout the Sonoran Desert. This native mesquite is a characteristic inhabitant of desert washes or arroyos, grasslands and valleys. Common mesquite has grey-green fern-like foliage in contrast to the brighter green quality of South American newcomers. At maturity, common mesquite develops a distinctive rugged trunk configuration. Prune secondary branches to emphasize this sculpted quality.

### MAINTENANCE REQUIREMENTS:

All mesquites have little maintenance requirements. Drought and heat resistant, they are the kings of the desert tree realm. Prune occasionally to shape trunk structure and eliminate cross branching. For best growth, plant in well-drained, humus-enriched soil and drip irrigate.

## ACACIA REDOLENS

### Prostrate acacia

Average mature height

2-1/2 feet

Average mature spread

10 feet

### CHARACTERISTICS AND USE:

Excellent ground cover whenever a mass effect is required. Grey-green leaves have a leathery succulent quality. Although *A. redolens* is an Australian native, it has adapted very well to our similar climate. Tiny, yellow, puff ball flowers appear in late winter or early spring, although not usually an eye-stopping display. Use as a low space divider, erosion control on banks or as an entry statement softener. Fast grower.

### MAINTENANCE REQUIREMENTS:

Drought-tolerant plant which thrives on occasional drip irrigation and good drainage. Hardy to temperatures at about 18 degrees F. New, lower-growing forms are presently being selected for cultivation.

## ATRIPLEX CANESCENS

### Four wing salt bush

Average mature height

5 feet

Average mature spread

6 feet

### CHARACTERISTICS AND USE:

This grey-green shrub has many uses. It can be clipped as a space divider, or can be used as a free-standing accent plant on its own, grouped with smaller, colorful perennials. It tends to be free-formed in natural state with a spreading, rounded shape but can be easily clipped to a more formal shape.

### MAINTENANCE REQUIREMENTS:

Can take scorching heat and the driest conditions. Will tolerate little care but will appreciate occasional deep watering during a scorching dry spell. Trim to remove old seed heads on female plants to improve clean appearance.

## ATRIPLEX SEMIBACCATA

Australian salt bush

Average mature height

12 inches

Average mature spread

6 feet

### CHARACTERISTICS AND USE:

Excellent ground cover and bank stabilizer with smoky-green leaves which blend into the surrounding landscape. Uniform, low growth habit makes this Atriplex a highly valuable tool for ground cover effect or erosion control. Red pulpy fruit adds color in the fall. Evergreen perennial. Fast grower. Plants reseed readily under favorable conditions.

### MAINTENANCE REQUIREMENTS:

Drought tolerant but responds to regular, spaced irrigation. Little maintenance needed. Older plants will die back at temperatures below 20 degrees F. Younger plants recover readily from temperatures of 17 degrees F. Space 3 feet apart.

## CAESALPINEA PULCHERRIMA

Red bird-of-paradise

Average mature height

3 feet

Average mature spread

3 feet

### CHARACTERISTICS AND USE:

Spectacular display of brilliant red-orange clusters of flowers characterizes this excellent shrub. Its bright green leaves are fine textured, giving the plant a tropical effect. Excellent as a transition from desert to ornamental gardens. Use in masses for brilliant color display. Wonderful specimen to soften a bare wall. Shy bloomers for first two seasons.

### MAINTENANCE REQUIREMENTS:

Will freeze to the ground if temperatures drop to the mid-twenties but recovers quickly in spring. Water deeply and frequently during growing period for rapid growth. Because of winter die-back, combine Red bird-of-paradise with winter tolerant shrubs. Grows readily from seed. Should be grown in containers to a height of 8 inches or so before planting in the ground.



## CALLIANDRA ERIOPHYLLA

Fairy duster

Average mature height

2 feet

Average mature spread

3 feet

### CHARACTERISTICS AND USE:

Marvelously fine-textured and delicate foliage marks this low-growing, spreading shrub. Highlight in springtime is a profusion of fluffy pink blossoms, white, pink or purplish. Blooming period lasts 2 to 3 weeks in early spring. Combine with larger shrubs in back drop. Use as a mass ground cover for full floral effect. Deciduous.

### MAINTENANCE REQUIREMENTS:

Will grow unattended but flourishes with occasional deep watering. Tolerant of desert soils but requires good drainage.

## CASSIA ARTEMISIOIDES

Feathery cassia

Average mature height

6 feet

Average mature spread

6 feet

### CHARACTERISTICS AND USE:

Grey-green fine foliage makes this shrub somewhat undistinguishable during most of the year. During its blooming period, however, Cassia produces a spectacular show with masses of bright yellow flowers. Following the two to three weeks of bloom, long, slender seed pods appear. Use as an informal screen or divider. If planted in masses, the spring show of yellow flowers is marvelous. Evergreen. A hardier variety with greener foliage, *C. nemophylla*, has recently been put on the market with good results.

### MAINTENANCE REQUIREMENTS:

Plant 4-feet apart in a sunny, open space. Can be frost damaged if temperature drops below 20 degrees F. Seed pods are unattractive and produce litter. Clip back pods if a well manicured effect is desired, otherwise, let the plant keep an informal, natural appearance. Is drought tolerant but will be more attractive and lush if watered on a regular basis. Needs good drainage.

## DALEA GREGGII

Prostrate indigo bush

Average mature height

18 inches

Average mature spread

8 feet

### CHARACTERISTICS AND USE:

In its natural habitat, *Dalea greggii* spreads only to about two feet. Given supplemental water and some care, however, it can reach out over a large area. Billowy, soft ground cover with silver-green foliage makes it a perfect bank cover and erosion controller. Cascade effect. Small purplish flowers appear throughout the year with the best show in the spring.

### MAINTENANCE REQUIREMENTS:

For best appearance, supplement with drip irrigation. *Dalea* roots as it grows so additional emitters may be added over a period of time. Prune back established plants to encourage billowing quality.

## DODONAEA VISCOSA

Hopbush, Hopseed-bush

Average mature height

8 feet

Average mature spread

5 feet

### CHARACTERISTICS AND USE:

Fast-growing evergreen shrub with a graceful vertical growing habit. Its bright green foliage provides a lush contrast to the characteristically grey-green color palette associated with the desert. Excellent background plant, space divider, screen or vertical accent. Inconspicuous blooming period in spring is followed by decorative flat-winged seeds.

### MAINTENANCE REQUIREMENTS:

Deserves deep, regular, but infrequent irrigation for maximum attractive appearance. Tolerates most soil conditions but appreciates good drainage and amended soil. Heat tolerant. During excessively cold winter may be damaged but recovers quickly in spring. Plant in full sun, 6 to 8 feet apart for wide screen. Trim leaders to promote fullness.

## ENCELIA FARINOSA

### Brittle-bush

Average mature height

2-1/2 feet

Average mature spread

3 feet

### CHARACTERISTICS AND USE:

This low, compact shrub is excellent for desert gardens. Its leaves are soft-textured and blue-grey in color. When back planted with taller, dark-green shrubs, Brittle-bush produces a bright highlight in the landscape. Its most colorful time is early spring when yellow daisy-like blossoms cover the shrub. The flowers have long stems which should be clipped following the blooming period. Use in masses for high ground cover effect. Excellent delineator plant. Evergreen.

### MAINTENANCE REQUIREMENTS:

Survives naturally in the desert but cannot be compared to one which is planted in humus-enriched soil with good drainage. Drought-resistant but will flourish with occasional deep watering. Full sun.

## LARREA TRIDENTATA

### Creosote-bush, Greasewood

Average mature height

6 feet

Average mature spread

6 feet

### CHARACTERISTICS AND USE:

Informal plant of irregular shape. Density and color depends upon available moisture. Glossy foliage exudes a characteristic pungent odor after a summer rainfall. Small, lemon-yellow flowers are followed by furry, round seed pods. Use as a revegetation plant to mitigate damage caused by construction. Also useful as an informal wind, noise or privacy screen.

### MAINTENANCE REQUIREMENTS:

Regular, wide-spaced deep watering will result in lush, full foliated plant. Do not, however, over-water. Very minimum maintenance.

## LEUCOPHYLLUM FRUTESCENS

Texas ranger

Average mature height

6 feet

Average mature spread

5 feet

### CHARACTERISTICS AND USE:

Low-key silver-grey shrub which suddenly dazzles in late summer with a shroud of lavender blossoms. Soft-textured foliage retains a hardy character year round, with an open-to-dense form depending upon care and watering. Responds well to clipping as hedge divider but looks best if left natural and casual. Exceptional transition plant. Use to revegetate construction-damaged areas.

### MAINTENANCE REQUIREMENTS:

Thrives in hottest sun and very resistant to drought. Appreciates deep, occasional irrigation. Must have good drainage. Little to no maintenance.

## OENOTHERA BERLANDIERI

Mexican primrose

Average mature height

12 inches

Average mature spread

6 feet

### CHARACTERISTICS AND USE:

Ground cover with wonderful pink and white flowers which bloom throughout the warm months. During winter, the plant loses its leaves and flowers. Remaining branch structure has a reddish cast which is not unattractive. Fast grower which spreads by rhizomes. Use for bank protection, all ground cover needs and color accent.

### MAINTENANCE REQUIREMENTS:

Full sun or part shade. Responds best to infrequent but regular irrigation. Provide good drainage. For best appearance, prune back after flowering periods. Give it plenty of room.

## RHUS OVATA

Sugar-bush

Average mature height

5 feet

Average mature spread

6 feet

### CHARACTERISTICS AND USE:

Broad, dense, rounded shape with rich green color. Leaves have a decorative leathery appearance, often folded at midrib, curving backward, growing from reddish stems. Ivory colored flowers produce attractive red-budded fruit in fall which adorn the plant for a lengthy period. Can grow to 10 feet under good conditions, but is a slow grower. Use as space divider or for mass background planting. Evergreen.

### MAINTENANCE REQUIREMENTS:

Most attractive if allowed to grow naturally. Prefers deep irrigation in cold season but has a tendency to develop fungus and damp-off if over-watered in summer. Good drainage is an absolute necessity.

## SIMMONDSIA CHINENSIS

Jjoba, Goat nut

Average mature height

5 feet

Average mature spread

5 feet

### CHARACTERISTICS AND USE:

Extremely useful evergreen shrub with rich, blue-green leathery leaves. Somewhat rounded in shape, dense and foliage-rich, Jjoba is one of the best landscape tools available. Produces large acorn-like fruit which is treasured for its fine oil. Use in a multitude of landscape situations. Clipped or informal hedge or space divider; accent shrub combined with low flowering perennials; background or foundation plant.

### MAINTENANCE REQUIREMENTS:

Slow-growing during juvenile stage, but responds greatly to regular watering and good drainage. Once established can be left on its own except for supplementary irrigation during extended periods of drought. Hardy to 20 degrees F. Responds well to amended soil.

## AGAVE Species

Average mature height

Varies

Average mature spread

Varies

### CHARACTERISTICS AND USE:

Bold and distinctive structure characterizes the Agave family. Size ranges from 18 inches to 6 foot height and width. Color is usually greenish blue or grey with some species having cream colored bands along the edges of the leaves. At full maturity, agaves send up a flower stock which signals its death-knell. Usually, pups have clustered at its base and can be replanted. Use as a specimen accent plant, or group with light-textured plants for contrast effect.

### MAINTENANCE REQUIREMENTS:

Extremely hardy and drought resistant. Needs little if no maintenance. Old, lower leaves may need removal if tidiness is required. Watch for agave weevils and their grubs which bore into the tender parts of the crown. The weevil, 3/4 inch long with a stout nose, can cause damage or even kill the plant if not treated. Annual preventive treatment is recommended. Consult your nurseryman for the latest recommended control technique.

## CARNEGIEA GIGANTEA

Saguaro, Sahuaro

Average mature height

50 feet

Average mature spread

Varies with Arms

### CHARACTERISTICS AND USE:

Columnar giant of the Sonoran Desert, saguaros are uniquely dramatic plant, confined only to this region. Very slow growers, saguaros take many years to grow a few inches. A 60 or 75-year old saguaro may reach about 20 feet and begin to sprout lateral arms. Long-lived plant if left alone, up to 250 years. Large, waxy flowers erupt at the top and tips in spring followed by bright red fruit. Use as a strong vertical accent in a desert setting. Always informal.

### MAINTENANCE REQUIREMENTS:

Give supplemental water only in small doses during periods of extended heat and drought. To encourage growth of young saguaros, occasionally water around a wide area at the base. Older saguaros may be affected by bacterial necrosis. Beginning symptoms are discoloration. If unattended, the disease will eventually kill the plant. Seek professional advice. Needs good drainage.

## DASYLIRION WHEELERI

Desert spoon, Sotol

Average mature height

5 feet

Average mature spread

6 feet

### CHARACTERISTICS AND USE:

Distinctive accent plant with grey-green serrated leaf blades which radiate from center like a giant pom-pom. In summer, mature plants send up a 5 foot bloom stalk topped by a cluster of small flowers. Use as a singular accent with flowering native ground covers or in groupings for strong desert statement. Handsome, bold, highly recommended plant.

### MAINTENANCE REQUIREMENTS:

Almost none. Remove old flower stocks after blooming period. Deserves good drainage, although tolerant of most soil conditions. Grows best with deep but infrequent irrigation during juvenile state. Buy 5-gallon size container plants for maximum survival.

## FOUQUIERIA SPLENDENS

Ocotillo, Coach whip

Average mature height

15 feet

Average mature spread

10 feet

### CHARACTERISTICS AND USE:

One of the most dramatic and unique plants of the Tucson area. Vertical, thorny whips spring up from a common base. Each spring, tubular clusters of bright orange flowers accentuate the tips. Ocotillo is deciduous, but responds to moisture rather than seasonal change. The entire plant will sprout leaves 4 to 5 days after a rain. When moisture level drops, so do the leaves. Use to silhouette against a stark wall. Can be used as a single specimen statement or in casually arranged groupings.

### MAINTENANCE REQUIREMENTS:

Best to plant bare root plants when they are dormant. Water weekly until established. Once established, do not irrigate except during periods of long drought. Requires little or no maintenance.

## HESPERALOE PARVIFLORA

Red yucca

Average mature height

3 feet

Average mature spread

3 feet

### CHARACTERISTICS AND USE:

Useful, low-growing plant with long, slender, grey-green leaves with filaments along the edges. Clumping habit and irregular form. Throws up coral-colored flower stalks in late spring. Use as color accent, low space divider or mass planting. Slow grower at first. Evergreen.

### MAINTENANCE REQUIREMENTS:

Soil and drought tolerant, but can use supplemental watering for lush growth. Hardy to 15 degrees F. After blooming period, clip off stalks. Old clumps can be divided in winter to set new plants.

## TECOMA STANS

Trumpet bush, Yellow bells

Average mature height

Varies

Average mature spread

Varies

### CHARACTERISTICS AND USE:

This handsome, tropical looking plant can be either a large shrub or trained into a small tree. An unseasonally cold winter will take it down to the roots if planted in an exposed location. The plant will recover in spring, but grow only 4 to 5 feet during the season. If planted in a protected, sunny spot, Trumpet-bush will grow to 15 feet and can be trained into a tree form. Wonderful yellow-trumpet-like blossoms cover the plant during late spring. Use as color accent near entry against a south or west facing wall. Excellent as an entry statement.

### MAINTENANCE REQUIREMENTS:

Prefers amended soil with good drainage. Needs protection from cold but will take part shade. Trim off seed pods after blooming period. Top damaged at 28 degrees F and may die to the ground at lower temperatures.



## VAQUILINEA CALIFORNICA

Arizona rosewood

Average mature height

10 feet

Average mature spread

6 feet

### CHARACTERISTICS AND USE:

Tough evergreen shrub having a vertical form in juvenile state but develops bushy branching pattern at maturity, achieving a full, dense form. Dark-green, leathery foliage with serrated edges. Excellent wind and privacy screen, background plant. Bronze cast in cold weather. Slow growing as juvenile. Evergreen.

### MAINTENANCE REQUIREMENTS:

Tolerant of soil but will perform best with good drainage. Water regularly until established then irrigate deeply at broad intervals. Space 4 feet on center for clipped hedge or 6 to 8 feet for informal divider. Spray for aphids or red spider mites. Once established, needs minimal care.

## YUCCA ELATA

Soaptree yucca

Average mature height

10 feet

Average mature spread

8 feet

### CHARACTERISTICS AND USE:

Erect and bristly form characterizes this yucca. Leaves are narrow and sharp. New leaves are pale green with a white edge. Older leaves hang down giving a skirted appearance. Tall stalks with cream-colored clusters of wax-like flowers appear in spring. Use as a specimen statement in a desert landscape. Casts a distinctive silhouette.

### MAINTENANCE REQUIREMENTS:

Tolerant of all soils but requires positive drainage. Hardy to cold. Sun-loving. Will appreciate occasional watering during hot spells. If allowed to over-dry, color will fade and lower foliage will dry up. No maintenance.

## APPENDIX B

### PROHIBITED PLANT LIST

1. In private areas, any species of tree whose mature height may reasonably be expected to exceed the approved building height may be prohibited, with the exception of those species specifically listed as approved by the La Reserve Architectural Committee.
2. In all areas, Olive trees (*Olea europaea*) will be prohibited because of their allergy-producing pollen.
3. In all areas, all varieties of Mulberry (*Morus* species) will be prohibited because of their allergy-producing pollen.
4. In all areas, except golf, common Bermuda Grass (*Cynodon dactylon*) will be prohibited because of its allergy-producing pollen. Lawns and irrigated ground covers will be limited in use to areas confined by walls. Hybrid bermuda grasses will be acceptable. Grass types shall be included in the LRAC submittal. Inorganic landscape features, such as ground covers and boulders, will be limited to materials indigenous to the La Reserve community area or to materials similar in color and appearance to these materials.
5. Other plant material may be subsequently added to or deleted from this list as determined appropriate for the La Reserve community by the La Reserve Architectural Committee.

LA RESERVE COMMUNITY ASSOCIATION  
ARCHITECTURAL REVIEW COMMITTEE  
P.O. BOX 40790  
TUCSON, ARIZONA 85717

ADDENDUM TO DESIGN GUIDELINES

1. Additions to list of prohibited plants:

Tall palms which at maturity exceed the approved building height. these include Mexican Fan Palm (*Washingtonia robusta*), California Fan Palm (*Washingtonia filifera*), Queen's Palm (*Arecastrum romanzoffianum*), Date Palm (*Phoenix dactylifera*), and Canary Island Palm (*Phoenix canariensis*).

2. Additions to the list of approved plants:

SHRUBS

*Leucophyllum candida* "Silver Cloud"  
*Leucophyllum candida* "Compacta"  
*Leucophyllum frutescens* "Green Cloud"  
*Leucophyllum lavigatum*

(These are newly introduced cultivars of our familiar Texas Ranger, smaller and more colorful.)

*Acacia minutae* (Southwestern sweet acacia)  
*Cassia nemophylla* (Desert Cassia)  
*Cassia candoleana* (New Zealand Cassia)  
*Nerium oleander* (Oleander species)

GROUND COVERS AND VINES

*Oenothera suffii* (Baja Primrose)  
*Rosa Banksiae* (Lady Bank's Rose)  
*Myoporum parvifolia* (Myoporum)  
*Rosmarinus officinalis* (Rosemary)  
*Macfadyena unguis-cati* (Cats Claw vine)

## DESERT STATEMENTS

Dasyliirion atrotriche (Green desert spoon)

3. Deletions from original approved plant list:

**Acacia farnesiana**

(This variety of Acacia has been proven to be very susceptible to frost).

F. ANN RODRIGUEZ, RECORDER  
RECORDED BY: RJL  
DEPUTY RECORDER  
9544 PE2

REZMS  
EZ MESSENGER ATTORNEY SERVICE  
EZ-GOLDSCHMIDT



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**LA RESERVE COMMUNITY ASSOCIATION  
ADDENDUM TO THE DESIGN GUIDELINES**

As adopted in its entirety by the La Reserve Architectural Committee,  
December, 2004

PLEASE REFER TO THIS  
DOCUMENT WHEN YOU  
ARE PLANNING ANY  
EXTERIOR CHANGES

**DO NOT REMOVE  
THIS IS PART OF THE OFFICIAL DOCUMENT**



When recorded return to:  
La Reserve Community Association  
7493 N. Oracle Rd., Suite 135  
Tucson, Arizona 85737

## **LA RESERVE COMMUNITY ASSOCIATION**

### **ADDENDUM TO THE DESIGN GUIDELINES**

As adopted in its entirety, by the La Reserve Architectural Committee,  
December, 2004

This document is being recorded  
to include the legal description,  
Exhibit "A", attached

#### **Addendum to the La Reserve Architectural Design Guidelines for Common Projects**

This Addendum to the Architectural Design Guidelines for Common Projects for Residences (DG) have been promulgated pursuant to the Declaration of Covenants, Conditions, Restrictions, and Easements for La Reserve (the Declaration), first recorded on November 8, 1984, Pima County, Arizona, and as may be amended or supplemented from time to time. The DG are binding upon each Lot Owner, Builder-Developer, or other person who at any time construct, reconstruct, refinish, alter or maintain any Improvement upon a Lot, or make any change in the natural or existing surface, drainage, or plant life thereof. The DG are administered and enforced by the La Reserve Architectural Committee (LRAC) in accordance with the Declaration and the procedures herein and therein set forth.

**Note:**

It is the intent of this document to further define the design guidelines. This document is subject to revision and may be amended or supplemented from time to time. To ensure that you have the most recent edition, please contact the Association Management Office at 520-219-3035.

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Please note that in an effort to provide an easily read document, certain terms that appear in this document have been capitalized.



## **1. La Reserve Philosophy**

La Reserve, a master planned community within the Town of Oro Valley, is located at the base of the Santa Catalina Mountains. La Reserve is particularly unique because of its rich contrasts in topography and the abundance and variety of typical Sonoran desert plant and animal life.

The overall intent for La Reserve is to create a self-sufficient master planned community set respectfully into the natural desert. Upon completion, it will likely include a full range of residential choices in addition to compatible commercial uses. La Reserve is envisioned and planned to respect its natural desert and mountain setting. Development will strive to preserve and enhance the natural setting of this unique location.

Design standards and restrictions have been developed to implement this vision. Minimum standards of design provide direction to an Owner in the development (planning, design, and construction) of their particular project to ensure compatibility with the particular existing home community and the overall La Reserve context. The purpose of this Addendum to the Design Guidelines is to provide an overall framework for quality development and to create a cohesive overall community appearance at La Reserve which is reinforced from one project to another. The La Reserve Architectural Committee (LRAC) will encourage creativity in design, innovative use of materials, and unique methods of construction to promote visual blending so long as the final result is consistent with La Reserve's overall intent.

## **2. Overview of Design Review Process**

In order to assist each Owner in the development (planning, design, and construction) of their particular project, a comprehensive design review process has been established pursuant to these DG. The process provides an opportunity to the Owner to draw upon the expertise and knowledge which has been acquired during the planning and development of La Reserve. The preservation and enhancement of a particular existing community's character within the overall La Reserve context is an important principle that the LRAC is charged with ensuring and carrying out in all phases of development.

Any and all modifications, alterations, additions, or changes to the original scope, construction, or Improvement of any residence must be submitted and approved by the LRAC prior to the construction or implementation of such contemplated work.

Please refer to Section 4 - Design Review Process and Submittal Requirements that outlines specific information and criteria dealing with all project submittals.

## **3. Common Project Design Standards**

### **3.1 Lighting**

The following are common lighting projects:

- (1) Accent Lighting
- (2) Security/Motion Lighting
- (3) Flood Lighting
- (4) Wall/Safety Mounted Lamp/Light
- (5) Holiday Lighting

#### **3.1a Submittal requirements for lighting projects (needed for LRAC review)**

Layout showing placement/location of lights, direction and elevation of illumination, color of lights, wattage of each light, type of lighting, duration of usage for each light, whether lighting is continuous, automatic (on timers) or intermittent (triggered by switches or motion detectors). Holiday lighting does not require a specific submittal and approval, providing such lighting is consistent with 3.1c (4) below.

### 3.1b General guidelines (expected approved uses) for lighting projects

In general, other than for reasons of safety, the LRAC advocates the use of lighting at a minimum level. Accent lighting can be used for landscape illumination, safety lighting of driveways, pathways, sidewalks, and pools. Holiday lighting, as with holiday decorations are to be used in consistency with the timing and theme of the holiday. Illumination of lighting should be downward-facing and directed on homeowner's own property and away from neighboring property. Actual wattage, bulb color, shielding of lighting, and illumination pattern to be reviewed and considered on a submittal basis, and may require post-installation inspection to determine if the intensity of the lighting meets the community standard of low intensity/low usage level.

All lighting must meet Tucson/Pima County Outdoor Lighting Code Ordinance No. 6786.

### 3.1c Specific approval conditions, exclusions, etc. for lighting projects:

- (1) Accent lighting, not to exceed 35 watts per bulb.
- (2) Wall/safety mounted lamp/lights are not to exceed 60 watts, unless submitted and approved by the LRAC.
- (3) Security motion detectors are to be installed with illumination directed at Owner's property and should shut off approximately 5 minutes after triggering; not to exceed 120 watts.
- (4) Flood lighting should be standard incandescent not to exceed 120 watts. Flood illumination is to be directed at Owner's property, away from neighboring property. Flood lights on all quadrants of residence shall not be left on continuously. All flood lighting must be reviewed by the LRAC for location and wattage.
- (5) Holiday lighting can be installed 30 days prior to the recognized holiday and must be removed within 15 days after the holiday associated with the lighting (recognized holidays include New Year's, Easter, Memorial Day, 4th of July, Labor Day, Halloween, Thanksgiving, and Christmas). Mini-lighting for other singular events must be put up and removed within a week of the event.
- (6) Metal halide, mercury vapor, fluorescent strip lighting, glass tubes filled with neon, argon or krypton, quartz, and high pressure sodium lighting will not be allowed.

Note: The lighting specifications as spelled out in this document are to be used on lighting in the community from the date of this document forward. Any request for change in existing lighting would be reviewed case by case, if there was some concern as to the existing lighting not being in compliance with the minimum lighting statement in the original Design Guidelines.

### 3.2 **Structural Additions**

The following are common structural addition projects:

- (1) Ramadas
- (2) Gazebos
- (3) Sheds
- (4) Detached Structures
- (5) Patio (porch) Additions
- (6) Patio (porch) Enclosures
- (7) House Expansion
- (8) Outdoor Fireplaces/Barbecues

### 3.2a Submittal requirements (needed for LRAC review)

Design layout with structure specifications noting the following (at a minimum): type of material, dimensions (width, height, length) of structure, color sample of structure, lighting installation, relationship to existing house structure, location of structure on property, pictorial and/or photo of proposed structure, if available. House expansion requires a set of floor plans and elevation drawings as well as plans for landscaping the affected area. Provide access detail for contractors during construction.

### 3.2b General guidelines (expected approved uses) for structural additions:

In general the LRAC reviews structural addition plans for architectural consistency within the community. The Association encourages Owners who are planning any of these projects to consider minimizing neighboring property interference in regard to views, color selections, and lighting.

### 3.2c Specific approval conditions, exclusions, etc. for structural additions

- (1) Attached structure additions require the material and color selection to closely match the architectural construction of the existing house structure. This would include a matching of the existing house roof form and material.
- (2) For appropriate color selection, refer to Section 3.5 Paint Colors.
- (3) For lighting specifications, see Section 3.1 Lighting.
- (4) Detached, portable storage sheds cannot be visible and cannot exceed the height of the surrounding wall. Storage sheds are not permitted in front yards or side yards in front of the privacy wall.
- (5) Outdoor fireplaces/barbecues must meet all of the following criteria:
  - a. The visible portion above any wall cannot exceed 3' in width or 30" in height.
  - b. Must be installed with a spark arrestor and/or firebox.
  - c. Must be installed no closer than five feet to a shared party wall.
  - d. Cannot be installed on a wall that the exterior side of the wall faces an adjacent parallel street.
- (6) Carports are not permitted.
- (7) Permanent tent structures are not permitted.
- (8) No bright colors, aluminum, and/or reflective material will be permitted. White or reflective roof coatings are not permitted. Flat roofs should be colored to match the exterior of the home.

### 3.3 Recreational Equipment - Permanent

Permanent structures require prior LRAC approval.

The following are common recreational equipment projects:

- (1) Playhouses
- (2) Play Gyms
- (3) Swing Sets
- (4) Basketball Hoops/Backboards/Poles
- (5) Volleyball Nets and Poles
- (6) Tetherball Poles

3.3a Submittal requirements for recreational equipment projects (needed for LRAC review)

Layout of area where recreational equipment is to be installed, with a description of equipment, proposed color, design, dimensions of equipment. Sample brochures, pictorial drawing, or photographs of similar equipment are helpful.

3.3b Specific approval conditions, exclusions, etc. for recreational equipment:

- (1) Basketball poles must be placed in the enclosed rear yard areas, 10 feet from any privacy wall.
- (2) When placing recreation equipment, such as playhouses, play gyms, etc., in the rear yard, consideration should be given to placing the equipment at least five feet from privacy walls.
- (3) All recreational equipment shall not be permitted for permanent placement in the front yard areas.

3.4 **Mechanical Equipment**

The following are common mechanical equipment projects:

- (1) Air Conditioning Units
- (2) Evaporative Coolers
- (3) Water Softeners/Conditioners
- (4) Solar Heaters/Panels

3.4a Submittal requirements for mechanical equipment projects (needed for LRAC review)

Layout includes area to be screened and/or painted, designating what colors to be applied to what areas and/or equipment, and what type of landscaping screening plants are to be used for each area.

3.4b General guidelines (expected approved uses) for mechanical equipment projects

In general the LRAC encourages the placement of mechanical equipment in garages or behind privacy walls, to shield from neighboring views.

3.4c Specific approval conditions, exclusions, etc. for mechanical equipment projects:

- (1) Mechanical equipment visible at the front of the house from the street or sidewalk must be shielded from view (shielding materials to be approved by the LRAC).
- (2) No mechanical equipment, other than approved solar installations or satellite dishes less than one meter in size, will be installed on any roof. These items should be installed in such a manner as to be the least visible from the street or neighboring properties.

3.5 **Exterior Paint and Yardscape Color Standards**

In general, all exterior paint shall match and maintain the original color selections of the house. Any contemplated color changes must be submitted and approved by the LRAC prior to proceeding with such changes.

3.5a Submittal requirements for exterior paint and yardscape color projects (needed for LRAC review)

Provide specific color chip sample and product manufacture information. In addition, the LRAC reserves the right to require and review a large sample applied on the house or Improvement.

**3.5b Specific approval conditions, exclusions, etc. for exterior paint and yardscape color projects:**

- (1) Front/rear door - match existing color, match color of house, approved stain color.
  - (2) Security door - black or match either main color of house or window trim.
  - (3) Garage door - match existing color.
  - (4) Garage door border - match existing color.
  - (5) Rear patio/balcony - if wood, wood stain color or match main color of house. If stucco, paint to match main color of house.
  - (6) Gate - if wood, wood stain color, match main house color, or match adjacent wall color. If wrought iron, black or match color of house or adjacent wall.
  - (7) Window screening - black, match color of house, or match existing screen color.
  - (8) Roof tiles - match existing type and color.
  - (9) Flat roof coating - match existing color. White, off-white, or reflective aluminum coatings will not be allowed.
  - (10) Privacy walls - exterior/interior to match existing finish and color.
  - (11) Entryway walkway/driveway - match existing finish and color. Only clear protection seal coats will be allowed without prior LRAC approval. Colored or textured coatings require LRAC approval and will be viewed on a case-by-case basis.
  - (12) Exterior rock mulch or gravel - exterior color choices (single or dual color), earth-tone, maximum two colors of rock or gravel. Decomposed gravel is not allowed other than in areas confined by privacy walls. White rock is not allowed.
  - (13) Wall/door ornamentation - minimal accent colors that provide alternative complimentary accent.
  - (14) Detached portable storage sheds - earthtone, low reflectivity, color needs to be submitted and approved by the LRAC.
  - (15) Utility boxes - match main house color.
  - (16) Wrought iron - black or match color of house.
- 3.6 Pools/Spas (and related equipment)**

The following are common pool/spa (and related equipment) projects:

- (1) Pools/Spas
- (2) Heaters (non-solar)
- (3) Filters
- (4) Pool Lighting
- (5) Diving Boards
- (6) Pool Slides
- (7) Pool Decking

### 3.6a Submittal requirements for pool/spa projects (needed for LRAC review)

Design layout with pool specifications noting the following (at a minimum): type of pool filtering system, wall up/down access to pool area during construction, lighting enhancement around pool area, location and height of pool equipment (filters, heaters, diving boards, slides). A pool contractor will usually provide a layout with specifications to meet the above requirements. If a pool/spa installation includes a gazebo/ramada addition, refer to Section 3.2 Structural Additions. If a pool/spa installation includes landscaping additions, refer to Section 3.7 Yardscaping. If lighting is part of the pool installation, refer to Section 3.1 Lighting. For solar heaters and panels, refer to Section 3.4 Mechanical Equipment. Above ground pools will be handled on a case-by-case basis and must be approved by the LRAC prior to installation, in particular, elevated above grade decking is subject to review and approval (with a minimum setback of five feet from privacy walls). All necessary permits must be obtained from the Town of Oro Valley and submitted to the Management Office prior to commencement of the project.

### 3.6b General guidelines (expected approved uses) for pool/spa projects

In general the LRAC reviews pool plans for specific safety considerations to be followed during pool construction, and to consider if the pool and recreational equipment installation provides minimal neighboring property interference. Construction access to the property is to be through the wall in the area of minimal impact on trees and vegetation. The affected section, including landscaping, is to be restored to its original condition. Existing irrigation lines are not to be damaged or disturbed.

### 3.6c Specific approval conditions, exclusions, etc. for pool/spa projects:

- (1) Diving boards are restricted to springboard types; no platform types are permitted.
- (2) Slides not to exceed 10' in height, color restricted to white, blue, or desert hues. All pool slide locations require LRAC approval (with a minimum setback of five feet from side property lines and ten feet from rear property lines.)
- (3) A design layout which results in back flushing into Common Areas or onto streets is prohibited. All backwash must be wholly contained within your property. Diatomaceous earth or sand filters require back flushing which are subject to regulation by Pima County. Please check with Pima County and/or the Town of Oro Valley on the actual regulations.
- (4) Pool and spa mechanical equipment located outside the privacy wall must be completely shielded from view from the street or neighboring properties.

### 3.7 Yardscaping

The following are common yardscaping projects:

- (1) Vegetation (ground cover, shrubs, trees, cactus, vines, grass, flowers)
- (2) Gravel, Rocks, Boulders, Wood Chips
- (3) Irrigation and Drainage
- (4) Accent Walls/Planter Boxes
- (5) Trellises, Fencing, Staking, Plant Protection Cloth Screening
- (6) Fountains
- (7) Flagstone, Brick/Pavers, Concrete, Steps
- (8) Driveway Expansions
- (9) Railroad Ties

3.7a Submittal requirements for yardscaping projects (needed for LRAC review)

A conceptual landscape layout plan identifies location of vegetation, botanical and common name of vegetation, colors included in foundation/ground cover, irrigation installation, any gravel and/or pictorial samples. Submittals for trellises should include location, color and types of plants to grow on trellises. No landscape or other Improvement (other than decorative rocks) will be permitted between sidewalks and street curbs without specific written LRAC approval.

3.7b General guidelines (expected approved uses) for yardscaping projects

The La Reserve landscape concept is based on a philosophy of compatibility with the existing Sonoran desert, sensitivity to its fragile ecosystems, and a commitment to low water usage vegetation. To this end, existing natural features such as stands of saguaros, unique vegetative groups, rock outcroppings, and washes are preserved whenever possible. The majority of introduced plant materials should be indigenous, arid, or semi-arid plants insuring minimal water usage and compatibility with the built and natural environments. The LRAC promotes the seven principles of "Xeriscape" which include:

- (1) Water conserving design
- (2) Low water use/drought tolerant plants
- (3) Reduction in turf areas
- (4) Water harvesting techniques
- (5) Appropriate irrigation methods
- (6) Soil improvements and use of mulches
- (7) Proper maintenance practices

3.7c Specific approval conditions, exclusions, etc. for yardscaping projects:

- (1) All plants incorporated into any yardscaping project must comply with the Approved Plant List of the Original Design Guidelines (see Appendix A) and must not be listed on the Prohibited Plant List (see Appendix B).
- (2) All landscaping must be installed in a manner to prevent the appearance of a "hedge" or "wall height extension". Specifically, no hedges will be permitted along property lines, sidewalks, etc. as such non random placement of landscaping would have the effect of raising sections of privacy walls, creating a secluded front yard area, etc. (Short sections of aligned bushes are encouraged to help shield utility boxes, etc.)
- (3) All Lots and Parcels, excluding any portion of the Lot which is enclosed by a perimeter wall, shall be landscaped in a manner consistent with the natural desert.
- (4) All original and subsequent landscaping must be installed in accordance with a plan approved by the LRAC. Drip irrigation systems are encouraged.
- (5) Rocks and boulders, patios, sidewalks, courtyards, and walls may be used to supplement and create imaginative landscaping design. Pavers can be used in proportion to the overall landscape of the front yard, providing it does not become the dominant feature of the front yard hard-scaping, and is subject to LRAC approval.
- (6) No tree, shrub or plant of any kind on any Lot or Parcel may overhang or otherwise encroach upon public sidewalk or other public pedestrian way or bikeway from ground level to a height of eight (8) feet without prior approval of the LRAC.

- (7) Grass areas are approved ground covers in areas completely confined by privacy walls and must be installed and maintained in compliance with the following conditions:
  - a. Common Bermuda grass, Fountain grass and all other grasses on the Prohibited Plant List of this document together with all Pima County and Oro Valley restricted grasses shall be prohibited on any area, of any Lot.
  - b. Installation of grasses shall not interfere with Lot drainage, cause seepage problems through property walls, etc.
- (8) When installing landscaping and/or irrigation, care should be given to maintain proper grading to eliminate any undue drainage onto neighboring Lots. Irrigation systems should not produce excessive watering on walls to cause damage to party walls.
- (9) Accent walls placed entirely on an Owner's property shall not exceed 3' in height, nor be installed any further than the most forward point of the house structure in an appropriate proportional percentage to the area of installation.
- (10) Temporary fencing, staking, and plant protection shade cloths must be properly maintained **when visible from neighboring property.**
- (11) For color selections on yardscaping materials, refer to Section 3.5 Exterior Paint & Yardscape Color Standards.
- (12) Theme Landscaping (i.e., sculptured trees/bushes that reflect animals and/or other architectural designs) is not allowed.
- (13) An individual trellis may be placed near a structure providing the height does not exceed 8 feet.
- (14) A trellis may be placed near a property wall providing that there is no effect of raising the height of the wall as a result from such placement.

### 3.8 Signage

The following are common sign projects:

- (1) For Sale/Builder Signs
- (2) Construction Signs
- (3) Alarm/Security Signs

The LRAC has endorsed the standard signage established by the Board of Directors as specified in the "Signage Policy," available at the Management Office. In addition there are LRAC specifications for an address sign for Lots under construction.

#### 3.8a Submittal requirements for signage projects (needed for LRAC review)

Custom construction company signs require LRAC submittal, review, and approval. The submittal should include size, design and message content, colors, and construction material

#### 3.8b General guidelines (expected approval uses) for signage

Alarm/security identification signs are permitted without LRAC approval, providing signs are placed on Lots within three (3) feet of structure, no more than 18" to top of sign, and not self-illuminating.



### 3.9 Ornamentation

The following are common ornamentation projects:

- (1) Yard Furniture
- (2) Exterior Wall Ornamentation
- (3) Flagpoles (permanent, ground installation)/Flags
- (4) Statuary
- (5) Roof Ornamentation

#### 3.9a Submittal requirements for ornamentation projects (needed for LRAC review)

Layout of area where ornamentation is to be installed, with description of ornamentation, proposed color, design, dimensions of ornamentation. Sample brochures, pictorial drawing, or photographs are helpful. No submittal is required for lawn furniture or lawn ornaments placed in the rear yard area. Displaying the American flag, utilizing a staff pole and bracket mounted to the main building or suspending the flag downward from the roof overhang, will be allowed without a submittal. Any flag so displayed shall not exceed 30 square feet in area.

#### 3.9b General guidelines (expected approved uses) for ornamentation projects

In general the LRAC promotes ornamentation in harmony with the surrounding Southwestern desert theme and colors. Furniture, wall ornamentation, and yard ornamentation should be used in unobtrusive proportion to the size of the house and yard.

#### 3.9c Specific approval conditions, exclusions, etc. for ornamentation projects:

- (1) Permanent placement of lawn/garden patio furniture or decorative wrought iron furniture/benches in front yard requires approval.
- (2) Freestanding or ground mounted flagpoles are permitted with LRAC approval. The flag pole should not exceed a height of 18 feet. It should be made of brushed steel, aluminum or similar metal.
- (3) Flags displaying advertising are not permitted.
- (4) Statuary **visible from the neighboring property** requires approval.
- (5) Roof ornamentation requires approval.

#### 3.10 Enclosure Projects (Walls, Gates, Wrought Iron Railings)

The following are common enclosure projects:

- (1) Walls (privacy, party, buffer)
- (2) Gates/Gate Screening
- (3) Wrought Iron
- (4) Railings
- (5) Wrought Iron Screening

#### 3.10a Submittal Requirements for enclosure projects (needed for LRAC review)

Submittal would require layout of existing enclosures on property, noting height of existing walls, proposed height of additional courses of brick, gate/screening material. If submitting plans for screening, color of screen and/or sample of material is required.

### 3.10b General guidelines (expected approved uses) for enclosure projects

Walls and fences in La Reserve have two functions. The most basic use of walls and fences relate to privacy and security, both of which are extremely important. The Design Guidelines, however, are concerned with the potential to provide a handsome and unifying element for the overall community.

### 3.10c Specific approval conditions, exclusions, etc. for enclosure projects:

- (1) Residential walls and fences in "normal" conditions shall be a maximum of six (6) feet high as measured from the lowest adjacent average finished grade.
- (2) Prior to the construction of any fence or wall, plans indicating materials to be used and location shall be submitted to the LRAC for approval. Property lines shall be verified by the Owner prior to construction.
- (3) Any fences or walls installed as part of a home's original construction will not be removed, altered or painted without the LRAC's prior written approval.
- (4) All concrete block walls visible from any street, parking area or open space within the community will be constructed and finished to match the community's original construction standards.
- (5) Wrought Iron screening - refer to Section 3.5 Exterior Paint & Yardscape Color Standards for appropriate color selection.

### 3.11 Antennae

The following are common antennae projects:

- (1) Dish/Microwave one (1) meter or smaller in size.
- (2) Cabling/mounting hardware

#### 3.11a Submittal requirements for antennae projects (needed for LRAC review)

Layout of area where antenna is to be installed on property/structure, type of antennae, dimensions of antennae, screening/camouflaging if applicable.

#### 3.11b General guidelines (expected approved uses) for antennae projects

Antennae definitions:

- (1) Antennas are defined as any antennae or other device for the transmission or reception of television or radio signals or any other form of electromagnetic radiation (including related hardware, cables, brackets), that shall be erected, used, or maintained outdoors on any Lot, whether attached to a building or structure or otherwise located within the Lot.
- (2) The definition of antennae is universal and pertains to all manufacturers and technologies.
- (3) In general, all antennae installations will conform to the federal government regulations as defined in FCC 96-328 or as currently amended.

3.11c Specific approval conditions, exclusions, etc. for antennae:

- (1) Prior to installation, every antennae installation must be submitted to the Management Office to ensure compliance with the LRAC's standards. An approved, **not visible from neighboring property**, placement of the antennae (ground mounted within walled patio yard areas encouraged) and/or adequate screening (landscaping or by other means) shall be a requirement of the installation provided that the restriction does not impair an Owner's ability to receive signals, as defined below:
  - a. Unreasonably delays or prevents installation, maintenance, or use of a device.
  - b. Unreasonably increases the cost of installation, maintenance or use of such devices.
  - c. Precludes reception of an acceptable quality signal.

### 3.12 Doors/Windows/Awnings

The following are common Door/Window/Awning projects:

- (1) Gated Entries
- (2) Screen Doors
- (3) Security Doors
- (4) Window Framing
- (5) Sunscreens (solar and film)
- (6) Rolling Shades
- (7) Rolling Shutters
- (8) Exterior Awnings
- (9) Wrought Iron Window Treatments

3.12a Submittal requirements for door/window/awning projects (needed for LRAC review)

Layout of house area where project is to be installed, with description, proposed color, design, dimensions. Sample brochures, pictorial drawing, or photographs are required.

3.12b General guidelines (expected approved uses) for door/window/awning projects

In general the LRAC promotes installation of exterior treatments in harmony with the surrounding Southwestern desert theme in colors. Exterior additions and changes should be used in unobtrusive proportion to the size of the house and yard. Exterior treatments are subject to weathering conditions and will require periodic maintenance to remain in good condition.

3.12c Specific approval conditions, exclusions, etc. for door/window/awning projects:

- (1) Security door shall be made of welded steel tube or wrought iron (for color, refer to Section 3.5).
- (2) No high reflectivity material may be installed in windows or doors.
- (3) Sunscreen material in black, bronze, or match existing screen color (no white or bright color screening material).
- (4) Rolling shades used to screen patios shall be mounted in such a way that all mechanical equipment shall not be **visible from neighboring property**.
- (5) Plastic sheeting material, when **visible from neighboring property** is not permitted as an awning for patios and balconies.

- (6) Rolling shutter assemblies shall match color of home and/or window trim area. All rolling shutter installations require specific written approval of the LRAC.
- (7) Exterior awnings (cloth)
  - a. Only solid color to match main exterior house color (not trim color.)
  - b. Awnings are permitted in the rear yard area only (no front or side elevation awnings).
  - c. One permitted in lieu of or in addition to rear covered patio structure, the dimensions of the patio area/awning shall not extend out from the house more than 10 feet from the access door and at full extension shall not be any closer than 5 feet from any privacy wall, while the width of the awning across the structure shall not exceed 20 feet.
  - d. Awnings must be maintained in good condition at all times.
  - e. Metal framing to be beige or other color as approved by LRAC.
  - f. No plastic, metal, aluminum awning material (except frame).
  - g. Awnings restricted to lower story only.
  - h. No ground mounted vertical supports.
- (8) Exterior wrought iron window treatment (bars) will be considered on a case-by-case basis, and window-by-window basis, and will be required to meet the highest aesthetic standards. All wrought iron window treatment submittals will require prior written approval from the LRAC to include the specific windows approved and wrought iron design for each window. Generally speaking, any approved window wrought iron will be installed flush with the surrounding wall section, will be painted the color of the home and will have custom design characteristics. Installation of well designed, custom wrought iron window treatments may be considered for approval whereas less aesthetically pleasing "bars over windows" would be less likely to be approved.

### 3.13 Roof mounted devices

The following are common roof mounted devices projects:

- (1) Solar Panels
- (2) Solar Heaters
- (3) Solar Tubes
- (4) Skylights
- (5) Roof Ventilators
- (6) External Gable Ventilators

#### 3.13a Submittal Requirements for roof mounted devices projects (needed for LRAC review)

Layout of area where roof mounted device is to be installed on property/structure, type of device, dimensions of device, proposed color of device, if possible, pictorial/brochure of device to be installed. Mechanical equipment, including evaporative coolers, will not be allowed to be installed on any roof. As such, all mechanical equipment is to be ground mounted and screened.

#### 3.13b General guidelines (expected approved uses) for roof mounted devices projects

In general the Association encourages the use of energy efficient devices, providing the devices, materials, colors, and screening are aesthetically acceptable to the community.

#### 3.13c Specific approval conditions, exclusions, etc. for roof mounted devices projects:

- (1) Roof mounted devices, such as solar tubes and skylights are to have their flashing colored or painted to closely match the adjacent roof color.

- (2) Solar applications such as panels or heaters will only be considered on a specific submittal basis. Any solar applications shall be an integral part of the structure and be concealed by it or be ground mounted within a private yard area and further concealed by landscaping. Any installation should minimize its exposure when viewed from any other Lot, Common Area, or from the surrounding La Reserve Community.

### 3.14 Roofing

The following are common roofing projects:

- (1) Structural Additions (refer to Section 3.2 Structural Additions)
- (2) Maintenance or repair
- (3) Gutters and Downspouts

3.14a Submittal requirements for roofing projects (needed for LRAC review)

In general, roofing material installed as part of the home's original construction are reviewed and approved during the development review process with a submittal from the builder-developer.

3.14b General guidelines (expected approved uses) for roofing projects

Materials and colors of roof materials are to be maintained and remain as originally specified and installed. As such, no submittal with respect to maintenance or repair work is required.

3.14c Specific approval conditions, exclusions, etc. for roofing projects:

- (1) White, off white, aluminum or other highly reflective coatings or colors will not be permitted.
- (2) Structural addition roofing color/style materials are required to match the existing house color/style roof material and installation.
- (3) Aluminum flashing material must be painted to match the existing house color condition.
- (4) Roof vents, and other miscellaneous roof penetrations must be colored or painted to match the adjacent roof color.
- (5) Gutters must be colored or painted to match the trim color. Downspouts must be painted to match the body color. Any variance requires LRAC approval.

### 3.15 Miscellaneous items

The following is a common miscellaneous item

- (1) Mailboxes

3.15a Submittal requirements for mailboxes

Location, proposed design, dimensions, material, and color

3.15b Specific approval conditions, exclusions, etc. for miscellaneous items:

Any changes to individual mailboxes from original builder installed, approved ones, shall be looked at on a case by case basis. Any proposed changes need to be submitted to the LRAC.

## **4. Design Review Process and Submittal Requirements**

### **4.1 Design Review Process**

The design review process is intended to ensure compliance with the DG. The Owner or their representative is encouraged to contact the LRAC representative to discuss the conceptual design criteria of the Owner's contemplated project. Particular design criteria, based upon these DG will also be reviewed. Typically, this orientation phase occurs during the project's initial planning or idea stage, helping to establish the minimum submittal requirements. Clear comprehension of the DG, and an ability to convey the project's merits to the LRAC, are important elements of the design review process.

It is anticipated that for major projects, an Owner will retain a qualified design professional to provide competent professional design services. Projects of a limited scope and simplicity might be presented directly by the Owner.

For Common Projects, once the plans and support documents are gathered they should be presented to the Management office. The submittal is then moved forward, or added to the agenda for the LRAC meeting, for review. A confirmation letter will be mailed to the Owner, upon approval by the LRAC.

Major projects, such as house additions or guest housed have a progressive review process that is covered in "The Design Review Process Overview and Submittal Requirements for New Construction," dated September 1, 2001.

### **4.2 Submittal Requirements**

An Owner should consult in advance with the Management Office to establish the minimum submittal requirements for any particular project. It is the owner's responsibility to see that these minimum requirements are met, and are received by the Management Office (as authorized agent for the LRAC) in adequate time to allow for proper consideration and review.

Typically, a common project submittal would included an Architectural Review Submittal Form (available at the gatehouse or the Management Office), and any items that will clearly communicate the full scope of the proposed project. This might include construction plans, renderings, material and color samples, pamphlets, photographs, narrative on access or other clarifying information, etc..

Any specific submittal that does not meet the outlined minimum requirements will, in all likelihood, contribute to delaying the design review process. Beyond the outlined minimum submittal requirements, any additional information that can be provided to clarify, illustrate or otherwise aide the LRAC in the design review process is encouraged.

All documents that exceed the standard 8 ½ X 11 size, colored pictures, or color and material samples shall be submitted in duplicate. Submittal deadlines dates are listed in 4.5 below.

### **4.3 Commencement of Construction**

In general, no construction activity related to any proposed Improvement shall be allowed to commence on any project, until the design review process is completed and approved by the LRAC.

### **4.4 Submittal Fees and Adjustments**

The LRAC may adopt a fee schedule in connection with its review process. All fee amounts are subject to periodic adjustment. Please verify in advance with the LRAC representative or the Management Office, the applicable fee amount for any particular project. All checks should be made payable to "La Reserve Community Association" and must be included as part of the initial submittal to the LRAC. Project submittals will not be reviewed by the LRAC unless the related fees have been paid.

Certain projects might back track and repeat a particular phase of the design review process. When this occurs, an additional design review fee could be required, considering the phase of the design review process that was required to be repeated.

In addition, the LRAC may adopt a compliance deposit schedule in connection with particular projects. Please verify in advance with the LRAC representative or the Management Office whether a particular project will require such a deposit prior to the start of construction.

#### **4.5 Review of Submittal**

The LRAC shall conduct reviews of submittals during its regular scheduled monthly meetings or at such other times as it deems appropriate.

Submittal deadline dates are as follows:

- New construction/additions, guest houses – first week of the month – no later than the 7<sup>th</sup>
- All other LRAC submittals – the 15<sup>th</sup> of the month

The Owner or their representative should present everything in writing to the LRAC. If said parties feel they want to clarify something in person at the meeting, or be there to answer questions that arise, they may, at the Committees discretion, be invited into the meeting when their submittal is being reviewed. In order to accommodate the time frame for the meeting, the discussion would be limited to specific items of concern. The LRAC will endeavor to respond in writing within 14 calendar days after the review is completed, provided that the submittal is in accordance with the requirements outlined. Any responses by an Owner or their representative made in relation to a decision of the LRAC must be addressed to the LRAC in writing.

#### **5. Enforcement**

These DG shall be enforced by the LRAC or the Association, as provided herein or in the Declaration. The LRAC reserves the right to waive, vary, or otherwise modify any of the standards or procedures set forth herein at its discretion, for good cause shown. Notwithstanding this, the DG may not conflict with the provisions of the Declaration.

Approval by the LRAC, at any phase of the design review process as outlined herein, for any Improvement, refers only to the DG and in no way implies conformance with any government regulations. It shall be the sole responsibility of the Owner to comply with all applicable government regulations, ordinances, and procedures and to adequately coordinate such required governmental reviews with the process and procedures outlined in this DG.

In addition, any consideration, action, or approval, by the LRAC, shall not constitute an approval, ratification or endorsement of the quality or architectural and engineering soundness of the project or Improvement. Further, the LRAC, its members, the Association, nor the Declarant, shall have any liability in connection with or related to the project, its plan, its specifications, or its execution.





EXHIBIT "A"

For La Reserve Community Association Addendum to the Design Guidelines

All those portions of real property situated in Sections 5, 7, 8 and 18, Township 12 South, Range 14 East, Gila and Salt River Base and Meridian, as described in Docket 6169 at Page 408 as recorded in the Office of the County Recorder, Pima County, Arizona;

EXCEPT:

All that portion of land as described in Docket 7224 at Page 1387;

And EXCEPT:

All that portion of land as shown on the plat of Foothills Business Park, Lots 1 through 17, a subdivision recorded Book 37 of Maps and Plats at Page 8.